

Annual Inspection Report

Address	: Transitional Housing at (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School) Sam Shing Estate, Tuen Mun, N.T. (TMTL 481)
Name of tenant of the Premises	: The Salvation Army
ICU Ref. No./MW submission no.	: HD(ICU)E3/103(N)AA(21)-D
Permit No(s).	: HDP 104/2021, HDP 105/2021, HDP 106/2021, HDP 107/2021, HDP 108/2021, HDP 109/2021, HDP 110/2021, HDP 111/2021, HDP 002/2022
Date of Inspection	: 24 August 2023

I hereby expressly warrant and declare that the above premises (including all cubicles) has been inspected by me and I confirm the following (circle the appropriate*):

- (a) There is no change in use in the above premises. Y / N / N.A.
- (b) The artificial lighting provided for the above premises is in working order. Y / N / N.A.
- (c) The mechanical ventilation systems provided for the above premises are in working order. Y / N / N.A.
- (d) The permanent vents provided for the above premises are intact. Y / N / N.A.
- (e) There is no alteration and addition to the layout of the above premises. Y / N / N.A.
- (f) There are no facilities installed in the bedrooms/pantry/premises for cooking with naked flame. Y / N / N.A.
- (g) All the conditions imposed in the above Permit for the above premises are complied with. Y / N / N.A.

* “Y” denotes Yes; “N” denotes No; and “N.A.” denotes Not Applicable

A copy of the above Permit and the layout plan as well as the photographic record of my inspection is enclosed with this Inspection Report.

Irregularities found during inspection (if any)

NIL

I hereby expressly warrant and declare that the above information provided is correct and genuine.

I further expressly acknowledge that the personal data provided by me in this Form may be used by the Independent Checking Unit in connection with the processing of this Inspection Report.

I understand that if I do not provide sufficient information, Independent Checking Unit may request me for further information.

I hereby authorise the Independent Checking Unit to disclose my personal data in this Inspection Report to such government departments as it may see fit for the processing of this Inspection Report.

I further authorise and direct and request any government department which may be approached by the Independent Checking Unit, to supply any and all information which it may require in relation to this Inspection Report.

Particulars of Authorized Person

Name in Chinese

Name in English

Certificate of Registration Number#


AP Date of Expiry of Registration#

3	1	1	2	2	0	2	5
dd		mm		yyyy			

Contact Tel. No.

Fax No.

Signature of Authorized Person#



TAM TIN SUI
B. Arch. B.A. (A.S.) HKIA
Authorised Person-AP(A)24/89

Any false certification or declaration may be subject to legal action.

Date

3	0	6	9	2	0	2	3
dd		mm		yyyy			


according to registration record


ICU REF. : HQ(GU)/10(NH)(21)
 PSD REF. : P 8/10568 P/L1


- NOTES:
- The drawing is subject to any amendments and any variation may be introduced without the written permission of the architect.
 - Use of other dimensions or grid lines, measurements for working must be checked on site.
 - The drawing is to be used in conjunction with the architect's specification at all times.
 - Details not shown the use remains below are to be provided.


REVISIONS:

NO.	DATE	DESCRIPTION
D	06-2022	GRP AMENDMENT
C	07-2022	GRP AMENDMENT
B	04-2022	GRP AMENDMENT
A	12-2021	GRP AMENDMENT
0	06-2021	GRP SUBMISSION

CLIENT:

 The Salvation Army


AUTHORIZED PERSON:

 KAM YIP CONSULTANTS LIMITED


BUILDING SERVICES ENGINEER:

 QnS


REGISTERED STRUCTURAL ENGINEER:

 ARCHITECTS AND ASSOCIATES COMPANY LTD


REVISIONS:

NO.	DATE	DESCRIPTION
D	06-2022	GRP AMENDMENT
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CLIENT:

 The Salvation Army

AUTHORIZED PERSON:

 KAM YIP CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER:

 QnS

REGISTERED STRUCTURAL ENGINEER:

 ARCHITECTS AND ASSOCIATES COMPANY LTD

QUANTITY SUMMARY:

NAME	SIGNED	DATE
DRAWN :	KZL	08-2021
CHECKED :	KL	08-2021
APPROVED :	KZL	08-2021

PROJECT:
 BUILDING (A)A) WORKS FOR CONVERSION OF EX-SALVATION ARMY CAM SHING CHUEN LAU HO YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUN WAN, NEW TERRORIES.

Note: This plan has been produced on a different sheet than the original proposal as it is presented in PUMP ROOM-19. The dates of the structural permits, regulatory structural engineer and registered professional engineer contained in this proposal shall remain valid and the provisions of section 142(1) of the Buildings Ordinance are of particular relevance in this regard.

Plan Approved

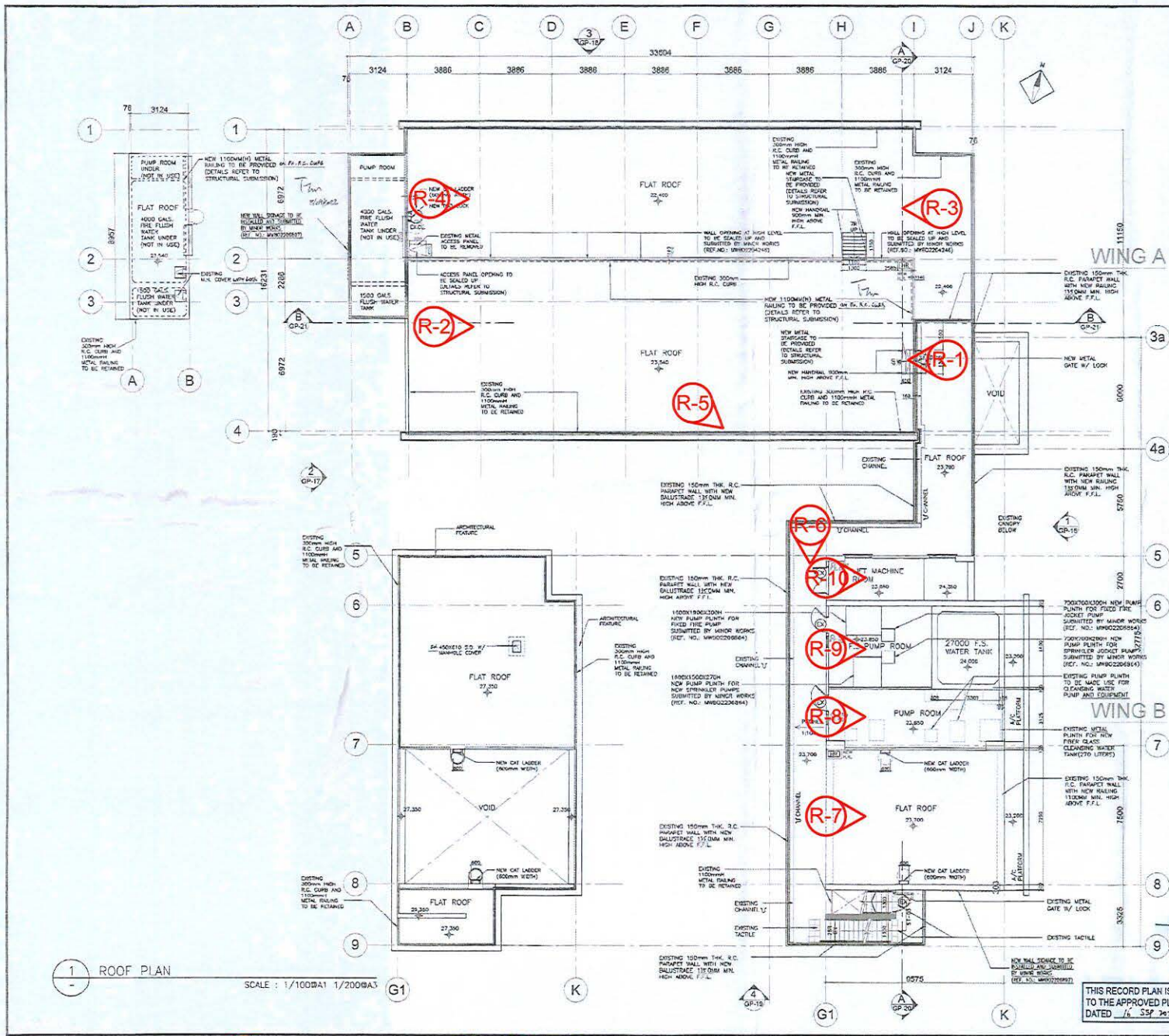
 T.S. CHAN
 15 SEP 2022

RECORD PLAN
AMENDMENT

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

DRAWING TITLE:
 ROOF FLOOR PLAN

JOB NO. : 779 DATE : 08-2021
 DRAWING NO. : REV. : SCALE :
 GP-15 D 1:100



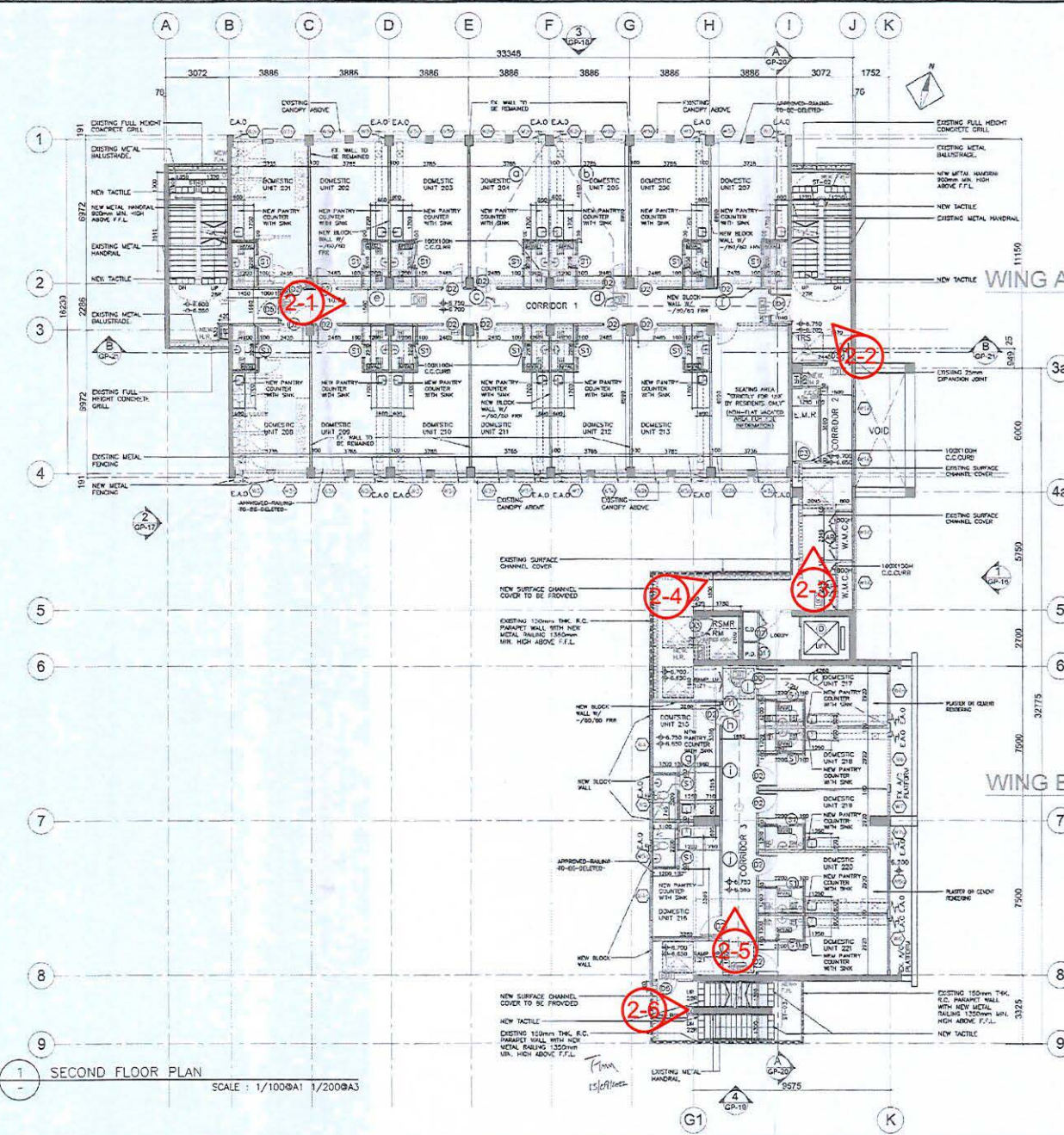
1 ROOF PLAN

SCALE : 1/100B&1 1/200B&3

PHOTO NO.

PHOTO RECORD PLAN OF ROOF

(1) in HQ(GU)E/1032(NV)A(21) 2 p.4



TRAVEL DISTANCE CALCULATION SUMMARY OF DISTANCE:

- (C) = 7.895 m
- (B) = 7.895 m
- (C) = 0.815 m
- (d) = 0.815 m
- (E) = 10.023 m
- (f) = 7.548 m
- (g) = 7.904 m
- (h) = 0.846 m
- (i) = 4.408 m
- (j) = 11.888 m
- (k) = 6.986 m
- (l) = 0.811 m
- (m) = 1.811 m

DOMESTIC UNIT 04:
DEADEND TRAVEL DISTANCE:
(a) = 7.835 m < 24 m
(c) = 0.815 m < 15 m

DOMESTIC UNIT 15:
DEADEND TRAVEL DISTANCE:
(g) = 7.904 m < 24 m
(h) = 0.846 m < 15 m

TRAVEL DISTANCE:
(c) + (e) = 10.838 m < 24 m

TRAVEL DISTANCE:
(h) + (i) = 17.142 m < 24 m

DOMESTIC UNIT 05:
DEADEND TRAVEL DISTANCE:
(b) = 7.835 m < 24 m
(d) = 0.815 m < 15 m

DOMESTIC UNIT 16:
DEADEND TRAVEL DISTANCE:
(k) = 6.986 m < 24 m
(l) = 0.811 m < 15 m

TRAVEL DISTANCE:
(d) + (f) = 8.363 m < 24 m

TRAVEL DISTANCE:
(j) + (m) + (l) + (i) = 18.018 m < 24 m

1 SECOND FLOOR PLAN SCALE: 1/100@A1 1/200@A3

Note: This plan has been prepared on a building case, using the approved fire alarm system as indicated in the approved fire alarm system. The building owner is responsible for ensuring that the fire alarm system is installed and maintained in accordance with the relevant codes and standards. The building owner is also responsible for ensuring that the fire alarm system is tested and maintained in accordance with the relevant codes and standards.

Plan Approved
[Signature]
11/09/2022
BY BUILDING AUTHORITY
11 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 14 SEP 2021

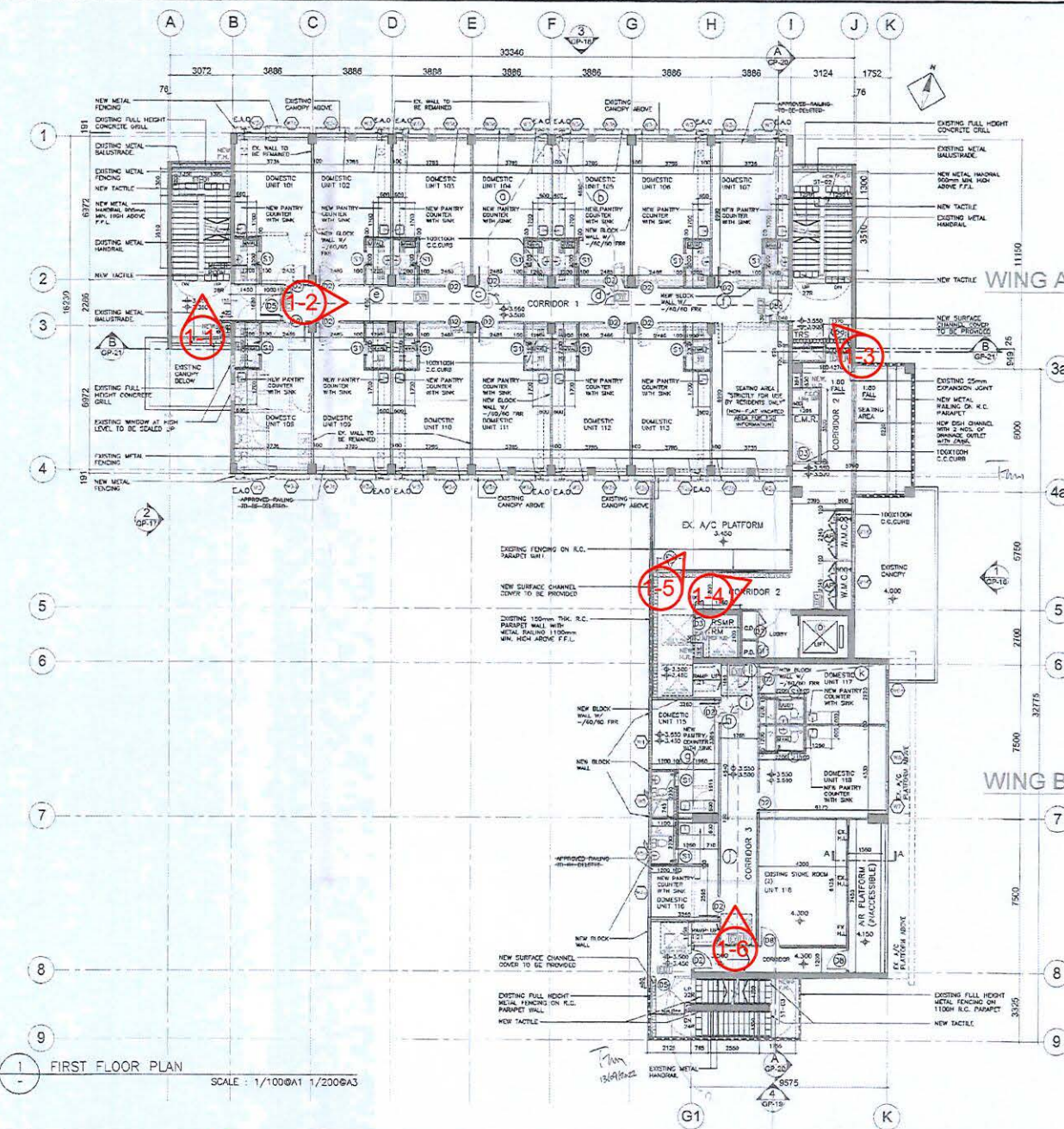
RECORD PLAN

AMENDMENT

CU REF. : HD(CU)E/102(N)M21)	
FDI REF. : FP 8/10568 PUJ	
NOTES: 1. The drawing is design and copyright and no portion may be reproduced without the written permission of the architect. 2. Use system dimensions for work items. Measurements to existing work to be indicated on site. 3. This drawing is to be used in conjunction with the architect's specification and conditions of contract. 4. Drawing not showing the last revisions below are to be corrected.	
REVISIONS: C 08-2022 CSP AMENDMENT R 07-2022 CSP AMENDMENT A 12-2021 CSP AMENDMENT O 09-2021 CSP SUBMISSION ISS. DATE DESCRIPTION	
REVISIONS: TRAVEL DISTANCE: (c) + (e) = 10.838 m < 24 m TRAVEL DISTANCE: (h) + (i) = 17.142 m < 24 m	
REVISIONS: TRAVEL DISTANCE: (d) + (f) = 8.363 m < 24 m TRAVEL DISTANCE: (j) + (m) + (l) + (i) = 18.018 m < 24 m	
AUTHORIZED PERSON: K KAMYIN SEMPUL TAMPIL UNITAR <i>[Signature]</i> BUILDING SERVICES ENGINEER	
REGISTERED STRUCTURAL ENGINEER: ARTHUR HONGKAI ASSOCIATES COMPANY LTD. 结构工程咨询有限公司	
QUANTITY SURVEYOR: Qns QUANTITY SURVEYORS	
DESIGNED : KCL	DRAWN : KT
CHECKED : KL	APPROVED : MD
DATE: 09-2021	DATE: 09-2021
PROJECT: BUILDING (A)A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAKI SHING CHUAN LAM NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAKI SHING ESTATE, TUN HUN, NEW TERRACES	
DRAWING TITLE: 2ND FLOOR PLAN	
JOB NO. : 779	DATE : 08-2021
DRAWING NO. : CP-10	REV. SCALE : 1:100

PHOTO NO. PHOTO RECORD PLAN OF 2/F

T:\User\Dez\The Salvation Army (2021)\2021 - Ex-Salvation Army Sun Chai Chuen Lu Ho Yip School\01 Submitter\04-GP-2-1\Plan Final Amendment_0221024.dwg



TRAVEL DISTANCE CALCULATION
SUMMARY OF DISTANCE:

(A) = 7.895 m
 (B) = 7.895 m
 (C) = 0.815 m
 (D) = 0.815 m
 (E) = 10.023 m
 (F) = 7.548 m
 (G) = 7.304 m
 (H) = 0.846 m
 (I) = 1.750 m
 (J) = 16.344 m
 (K) = 6.303 m
 (L) = 0.921 m

DOMESTIC UNIT 04:
 DEADEND TRAVEL DISTANCE:
 (A) = 7.895 m < 24 m
 (B) = 0.815 m < 15 m
 TRAVEL DISTANCE:
 (C) + (E) = 10.838 m < 24 m

DOMESTIC UNIT 05:
 DEADEND TRAVEL DISTANCE:
 (B) = 7.895 m < 24 m
 (C) = 0.815 m < 15 m
 TRAVEL DISTANCE:
 (C) + (I) = 8.363 m < 24 m

DOMESTIC UNIT 15:
 DEADEND TRAVEL DISTANCE:
 (A) = 7.304 m < 24 m
 (F) = 0.846 m < 15 m
 TRAVEL DISTANCE:
 (H) + (J) = 17.100 m < 24 m

DOMESTIC UNIT 17:
 DEADEND TRAVEL DISTANCE:
 (K) = 6.303 m < 24 m
 (L) = 0.921 m < 15 m
 TRAVEL DISTANCE:
 (L) + (I) + (I) = 9.015 m < 24 m

KU REF.: HD(CU)3/1020(WA21)
 PSD REF.: FP 0/10558 PL1

NOTES:

- The drawing & design are copyright and no portion may be reproduced without the written permission of the architect.
- Use initial dimensions of grid lines, measurements in existing work to be checked in situ.
- The drawing is to be read in conjunction with the architect's specification & schedule of works.
- Nothing is shown the last measure before one to be completed.

REVISIONS:

NO.	DATE	DESCRIPTION
C	08-2022	OSP AMENDMENT
B	07-2022	OSP AMENDMENT
A	17-2021	OSP AMENDMENT
D	09-2021	OSP SUBMISSION

CLIENT:
 救世軍 The Salvation Army

AUTHORIZED PERSON:
 KAMYIN CONSULTANTS LIMITED
 TANG TIN LUI

BUILDING SERVICES ENGINEER:
 HUI WAI WING

REGISTERED STRUCTURAL ENGINEER:
 ARTHUR YOUNG AND ASSOCIATES COMPANY LTD.
 何宇雄工程師事務所

QUALITY SURVEYOR:
 QnS

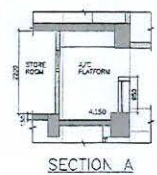
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
KEL	KT	KL	KL

PROJECT:
 REPAIRING (A&B) WORKS FOR CONVERSION OF EX-COLONIAL ARMY SAM SHING CHAI WAI NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUN MUN, NEW TERRITORIES

DRAWING TITLE:
 1ST FLOOR PLAN

RECORD PLAN
AMENDMENT

JOB NO.: 229 DATE: 08-2021
 DRAWING NO.: 01.1 SCALE: 1:100
 GF-09 DATE: 1:100



Note: This plan has been prepared on a standard basis under the oversight of the architect, and is not intended to be used for any other purpose. The architect is not responsible for any errors or omissions in this plan, and the contractor is responsible for checking the accuracy of the information provided in this plan.

Plan Approved
 TANG TIN LUI
 17/09/2022
 FOR THE BUILDING AUTHORITY
 16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

PHOTO NO. PHOTO RECORD PLAN OF 1/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	R-1
Location:	Roof



Photo No.:	R-2
Location:	Roof

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: R-3

Location: Roof



Photo No.: R-4

Location: Roof

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: R-5

Location: Roof



Photo No.: R-6

Location: Roof

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: R-7

Location: Roof



Photo No.: R-8

Location: Water Pump Room at Roof

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: R-9

Location: F.S. Pump Room at Roof



Photo No.: R-10

Location: Lift Machine Room at Roof

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: 6-1

Location: Corridor 1 at 6/F



Photo No.: 6-2

Location: Staircase-02 at 6/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	6-3
Location:	Corridor 2 at 6/F



Photo No.:	6-4
Location:	Corridor 2 at 6/F

**The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D**



Photo No.:	6-5
Location:	Corridor 3 at 6/F



Photo No.:	6-6
Location:	Staircase-03 at 6/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	5-1
Location:	Staircase-01 at 5/F



Photo No.:	5-2
Location:	Corridor 1 at 5/F

**The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D**



Photo No.: 5-3

Location: Staircase-02 at 5/F



Photo No.: 5-4

Location: Corridor 2 at 5/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	5-5
Location:	Corridor 2 at 5/F



Photo No.:	5-6
Location:	Corridor 3 at 5/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	4-1
Location:	Corridor 1 at 4/F



Photo No.:	4-2
Location:	Staircase-02 at 4/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	4-3
Location:	Corridor 2 at 4/F



Photo No.:	4-4
Location:	Corridor 2 at 4/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: 4-5

Location: Corridor 3 at 4/F



Photo No.: 4-6

Location: Staircase-03 at 4/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	3-1
Location:	Staircase-01 at 3/F



Photo No.:	3-2
Location:	Corridor 1 at 3/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	3-3
Location:	Staircase-02 at 3/F



Photo No.:	3-4
Location:	Corridor 2 at 3/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: 3-5

Location: Corridor 2 at 3/F



Photo No.: 3-6

Location: Corridor 3 at 3/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	2-1
Location:	Corridor 1 at 2/F



Photo No.:	2-2
Location:	Staircase-02 at 2/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: 2-3

Location: Corridor 2 at 2/F



Photo No.: 2-4

Location: Corridor 2 at 2/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.: 2-5

Location: Corridor 3 at 2/F



Photo No.: 2-6

Location: Staircase-03 at 2/F

**The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D**



Photo No.:	1-1
Location:	Staircase-01 at 1/F



Photo No.:	1-2
Location:	Corridor 1 at 1/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	1-3
Location:	Staircase-02 at 1/F



Photo No.:	1-4
Location:	Corridor 2 at 1/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	1-5
Location:	A/C platform at 1/F



Photo No.:	1-6
Location:	Corridor 3 at 1/F

**The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D**



Photo No.:	G-1
Location:	Reception at G/F



Photo No.:	G-2
Location:	Reception at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	G-3
Location:	Corridor 2 at G/F

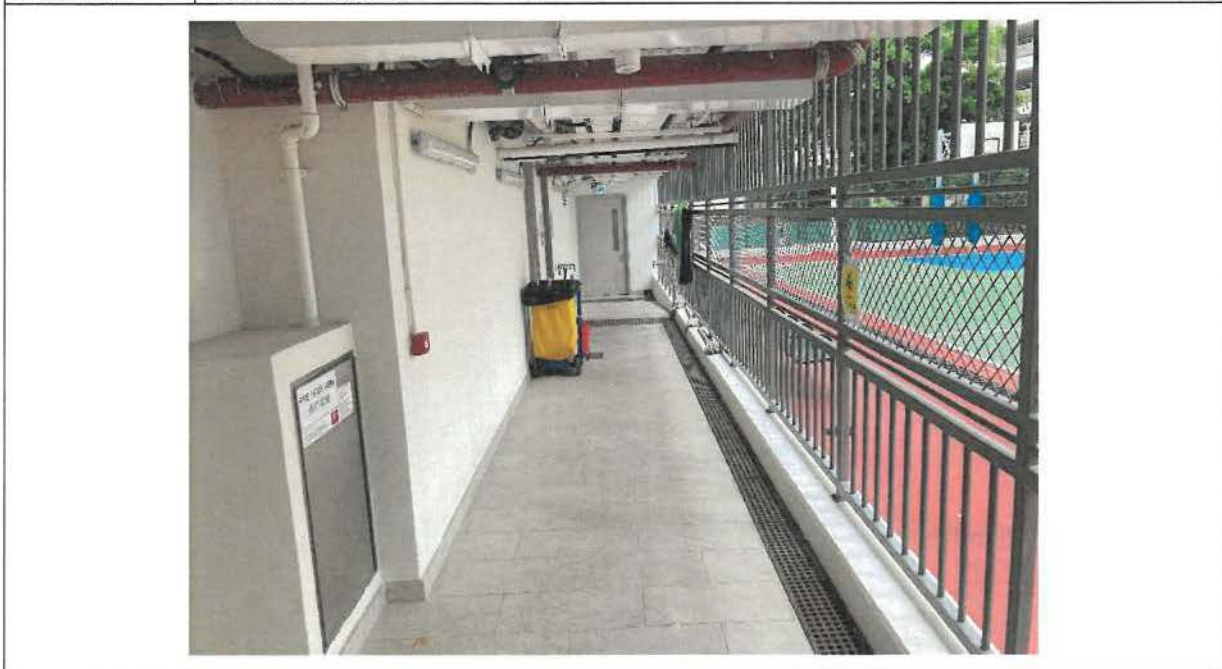


Photo No.:	G-4
Location:	Corridor 3 at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	G-5
Location:	Flushing water and cleaning water pump room at G/F



Photo No.:	G-6
Location:	Refuse storage and material recovery room at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
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Photo No.:	G-7
Location:	Switch room at G/F



Photo No.:	G-8
Location:	Telephone and board casting equipment room at G/F

**The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D**



Photo No.: G-9

Location: Interview room at G/F



Photo No.: G-10

Location: General office at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D

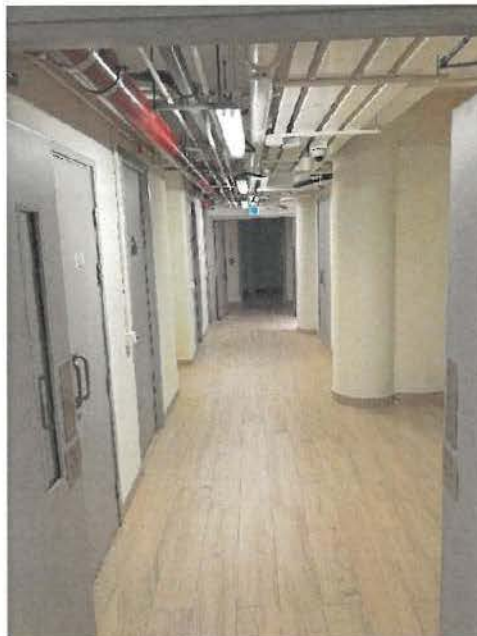


Photo No.:	G-11
Location:	Corridor 1 at G/F



Photo No.:	G-12
Location:	Activity Room at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	G-13
Location:	Male lavatory at G/F

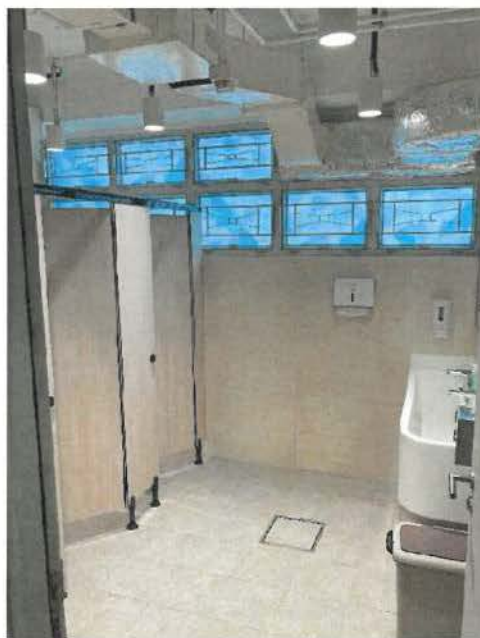


Photo No.:	G-14
Location:	Female lavatory at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	G-15
Location:	Staircase-01 at G/F



Photo No.:	G-16
Location:	Exit of Staircase-01 at G/F

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	E-1
Location:	External Playground



Photo No.:	E-2
Location:	External wall

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:	E-3
Location:	External wall



Photo No.:	E-4
Location:	External wall

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
ICU Ref.: HD(ICU)E3/103(N)AA(21)-D



Photo No.:

E-5

Location:

External wall



Photo No.:

E-6

Location:

External wall

The Salvation Army Transitional Housing at Sam Shing Estate, Tuen Mun, N.T. (T.M.T.L. 481)
Annual Inspection Report
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Photo No.:	E-7
Location:	External wall



Photo No.:	E-8
Location:	Main entrance at G/F

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 104/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 20 and 21

To permit the domestic portion of transitional housing in wholesale-converted school to be treated as non-domestic for the purpose of site coverage and plot ratio calculation.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix A.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix A

- (a) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (c) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (d) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 17 September 2021 and agreed by the Building Authority.
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 15 October 2021 shall be submitted by an Authorized Person.
- (g) This permit is given in recognition of the letter submitted by the non-profit making organization or social enterprise (NGO) dated 12 October 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing.
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations; and
- (j) In case of contravention of any conditions in this permit, the Building Authority:-
 - (i) may instigate prosecution proceedings under section 40(2) of the Buildings Ordinance and any person convicted of such offences is liable to be a fine at level 6 and to imprisonment for 2 years; and
 - (ii) would reserve the right to serve an order under section 24 of the Buildings Ordinance requiring the reinstatement of the concerned flat in accordance with the approved plan(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 105/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 25(1)a

To exempt the domestic portion of the transitional housing in wholesale-converted school from the provision of open space.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix B.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix B

- (a) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (c) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (d) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 17 September 2021 and agreed by the Building Authority.
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 15 October 2021 shall be submitted by an Authorized Person.
- (g) This permit is given in recognition of the letter submitted by the non-profit making organization or social enterprise (NGO) dated 12 October 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing.
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations; and
- (j) In case of contravention of any conditions in this permit, the Building Authority:-
 - (i) may instigate prosecution proceedings under section 40(2) of the Buildings Ordinance and any person convicted of such offences is liable to be a fine at level 6 and to imprisonment for 2 years; and
 - (ii) would reserve the right to serve an order under section 24 of the Buildings Ordinance requiring the reinstatement of the concerned flat in accordance with the approved plan(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 106/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 30

To permit the omission/reduction in standard of natural lighting and ventilation in new management office on G/F.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix C.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix C

- (a) Artificial lighting and mechanical ventilation at rate of not less than 5 ACH to be provided to the satisfaction of the Building Authority.
- (b) Fresh air intake comply the requirements set out in Annex 2 of PNAP ADM-2 to be provided.
- (c) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (d) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (e) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (f) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.

BUILDING AUTHORITY OF HONG KONG

Form BD 106

BUILDINGS ORDINANCE

(Chapter 123)

Section 42

Permit under Section 42

Permit No. HDP 107/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021

In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 35A

To permit the non-provision of gas aperture in bathroom.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix D.



(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU

Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix D

- (a) Supply of gas as defined under Gas Safety Ordinance (Cap 51) will not be provided to the domestic part of the building.
- (b) A restriction on the installation of gas supply to domestic part of the building and delivery of LPG cylinders to domestic units of the buildings will be imposed in the tenancy agreement.
- (c) A condition will be imposed in the tenancy agreement that tenants shall provide their own electric water heater and induction cooker if an electric water heater and an induction cooker are not provided by the NGO before renting out the unit.
- (d) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (e) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (f) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (g) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.
- (h) The transitional housing shall be properly used and managed according to the Management Plan submitted on 17 September 2021 and agreed by the Building Authority.
- (i) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 15 October 2021 shall be submitted by an Authorized Person.
- (j) This permit is given in recognition of the letter submitted by the non-profit making organization or social enterprise (NGO) dated 12 October 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing.
- (k) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.

- (l) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations; and
- (m) In case of contravention of any conditions in this permit, the Building Authority:-
 - (i) may instigate prosecution proceedings under section 40(2) of the Buildings Ordinance and any person convicted of such offences is liable to be a fine at level 6 and to imprisonment for 2 years; and
 - (ii) would reserve the right to serve an order under section 24 of the Buildings Ordinance requiring the reinstatement of the concerned flat in accordance with the approved plan(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 108/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 36

To permit the omission/reduction in standard of natural lighting and ventilation in bathrooms and lavatories in domestic building.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix E.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix E

- (a) Subject to the compliance with the requirements and conditions as laid down in PNAP APP-98.
- (b) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (c) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (d) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (e) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 109/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 45

To permit the non provision of kitchen

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix F.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix F

- (a) No cooking with naked flame inside the premises.
- (b) Provision of a communal pantry or a pantry in each flat with an openable window.
- (c) FSD approved standalone smoke or heat detector shall be provided at a strategic location near the counter top to the satisfaction of the Building Authority.
- (d) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (e) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (f) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (g) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.
- (h) The transitional housing shall be properly used and managed according to the Management Plan submitted on 17 September 2021 and agreed by the Building Authority.
- (i) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 15 October 2021 shall be submitted by an Authorized Person.
- (j) This permit is given in recognition of the letter submitted by the non-profit making organization or social enterprise (NGO) dated 12 October 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing.
- (k) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (l) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations; and

- (m) In case of contravention of any conditions in this permit, the Building Authority:-
- (i) may instigate prosecution proceedings under section 40(2) of the Buildings Ordinance and any person convicted of such offences is liable to be a fine at level 6 and to imprisonment for 2 years; and
 - (ii) would reserve the right to serve an order under section 24 of the Buildings Ordinance requiring the reinstatement of the concerned flat in accordance with the approved plan(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 110/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Administration) Regulation 29(1A)

To permit the exemption from payment of fees for processing of plans.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

3. This permit is granted subject to the conditions attached in Appendix G.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix G

- (a) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (c) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (d) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 111/2021
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 15 October 2021

In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-


Building (Planning) Regulation 30 and 31

To permit the adoption of performance-based approach in lieu of the prescriptive requirements for the prescribed windows of habitable area in the following domestic flats:

Unit 01, 02 and 13 (1/F to 6/F)

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

4. This permit is granted subject to the conditions attached in Appendix H.


(YEUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix H

- (a) Subject to the compliance with the requirements as laid down in PNAP APP-130.
- (b) The said works are to be carried out in accordance with the plans approved on 15 October 2021 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D.
- (c) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (d) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (e) This Permit will expire on 14 October 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.

BUILDING AUTHORITY OF HONG KONG
Form BD 106
BUILDINGS ORDINANCE
(Chapter 123)
Section 42

Permit under Section 42

Permit No. HDP 002/2022
Our Ref. No. HD(ICU)E3/103(N)AA(21)-D2
To: TAM Tin-sui
c/o Kamyin Consultants Limited
Unit 06 & 07, 14/F, Tower 1,
Magnet Place,
77-81 Container Port Road, Kwai Chung,
N.T., H.K.

Date: 7 January 2022


In exercise of the powers vested in me by section 42 of the Buildings Ordinance, I hereby grant modification of and/or exemption from the provisions of-

Building (Planning) Regulation 28A

To permit the reduction in size of the telecommunications and broadcasting room.

in respect of the proposed building works/~~street works~~ at Transitional Housing (Ex-Salvation Army Sam Shing Chuen Lau Ng Ying School), Sam Shing Estate, Tuen Mun, N.T. on (lot no.) TMTL 481

2. This permit is granted subject to the conditions attached in Appendix A.


(YBUNG Kwok-po, Michael)
Chief Maintenance Surveyor/ICU
Independent Checking Unit
for Building Authority

*Delete whichever is inapplicable

Appendix A

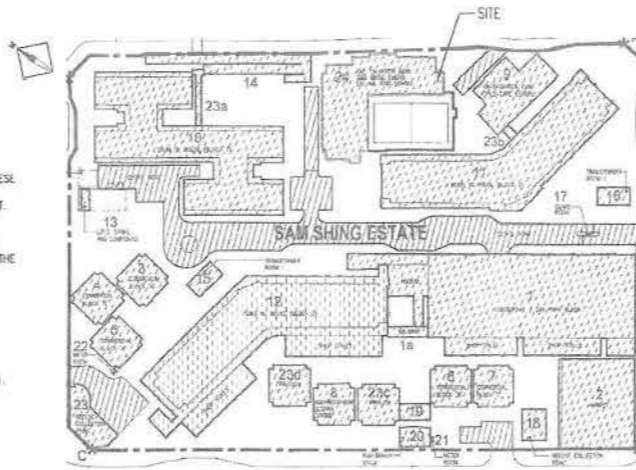
- (a) The said works are to be carried out in accordance with the plans approved on 7 January 2022 under our Ref. No. HD(ICU)E3/103(N)AA(21)-D2.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form BA 14 is submitted.
- (c) A checklist of valid Forms BD 106 is to be submitted at the time of the submission of Form BA 14.
- (d) This Permit will expire on 6 January 2024 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked under section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 17 September 2021 and agreed by the Building Authority.
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 7 January 2022 shall be submitted by an Authorized Person.
- (g) This permit is given in recognition of the letter submitted by the non-profit making organization or social enterprise (NGO) dated 12 October 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing.
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations; and
- (j) In case of contravention of any conditions in this permit, the Building Authority:-
 - (i) may instigate prosecution proceedings under section 40(2) of the Buildings Ordinance and any person convicted of such offences is liable to be a fine at level 6 and to imprisonment for 2 years; and
 - (ii) would reserve the right to serve an order under section 24 of the Buildings Ordinance requiring the reinstatement of the concerned flat in accordance with the approved plan(s) prior to the proposed alteration and addition works or to a state that fully complies with the Buildings Ordinance and its allied regulations.

GENERAL NOTES:

- FIGURES SHOWN IN DRAWINGS ARE STRUCTURAL DIMENSIONS AND IN MILLIMETERS UNLESS OTHERWISE STATED.
- BRICK WORKS AND MASONRY WORKS TO BE BUILT IN CEMENT MORTAR OF 1:3 MIX UNLESS OTHERWISE STATED.
- NON STRUCTURAL CONCRETE TO BE IN 1:2:4 MIX UNLESS OTHERWISE STATED.
- MINIMUM CLEAR HEIGHT OF HABITABLE ROOM AND OFFICE FROM FLOOR TO UNDERSIDE OF ANY BEAM AND CEILING ABOVE FLOOR TO BE 2.3M AND 2.5M RESPECTIVELY.
- REQUIREMENTS OF DESIGN MANUAL - BARRIER FREE ACCESS DOOR TO BE COMPLIED.
- DRAINAGE DRAWINGS TO BE SUBMITTED SEPARATELY.
- ALL LEVELS ARE IN METERS ABOVE PRINCIPAL DATUM.
- ALL PARAPET OR BALCONY TO BE 1100mm HIGH ABOVE FINISHED FLOOR LEVEL WITH LOWEST 150mm BUILT SOLID AND COMPLY WITH PNAP APP-110.
- FIRE RATED DOOR.
- ALL ESCAPE DOOR TO PROTECTED LOBBIES OR REQUIRED STAIRCASES TO HAVE APPROPRIATE NOTICE FIXED TO BOTH SIDES OF THE DOORS TO REMIND BUILDING USERS THAT THE DOOR SHOULD NORMALLY BE KEPT CLOSED.
- ALL FIRE RESISTING DOOR TO PROTECTED LOBBIES OR REQUIRED TO BE PROVIDED ON BOTH SIDES WITH NOTICE "FIRE DOOR TO BE KEPT CLOSED" BOTH IN ENGLISH AND CHINESE AS PER SECTION 14 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- ALL FIRE RESISTING DOOR TO BE CERTIFIED BY A RECOGNIZED LABORATORY AS BEING IN ACCORDANCE WITH BS478-PARTS 20 AND 22:1987 OR AS BS EN STANDARD EQUIVALENT.
- ALL FIRE RESISTING DOORS TO BE SELF-CLOSING.
- ALL FIRE RESISTING WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- EVERY OPENING FOR THE PASSAGE OF AIR-CONDITIONING DUCTS, VENTILATION DUCTS, ELECTRICAL TRUNKINGS, CONDUITS, PIPES AND WIRES THROUGH A COMPARTMENT WALL OR FLOOR AND EVERY HOLE IN SUCH A WALL OR FLOOR LEFT AFTER CONSTRUCTION SHALL BE PROTECTED WITH FIRE DAMPERS OR OTHER SUITABLE FORM OF FIRE STOP TO MAINTAIN THE REQUIRED F.R.R. OF THAT WALL OR FLOOR TO BE COMPLIED WITH CLAUSE C8.2 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- ALL ACCESSIBLE RAMPS (1:12) TO BE PROVIDED WITH HANDRAILS ON BOTH SIDES.
- ACCESSIBLE ROOF FOR MAINTENANCE ONLY.
- ALL EXIT STAIRCASES WILL BE PROVIDED WITH SUFFICIENT LIGHTING AND NON-SLIP FINISH FOR THE CORRIDOR AND WARNING STRIPS FOR THE STEPS OF THE STAIRCASES.
- THE PROPOSED A&A WORKS SHOWN ON THESE DRAWINGS DO NOT INVOLVE CHANGE TO THE:
 - BUILDING HEIGHT
 - SITE COVERAGE
 - TOTAL GROSS FLOOR AREA
- TEMPORARY REFUGE SPACE WITH AN AREA OF NOT LESS THAN 1.5m x 1.5m TO BE COMPLIED WITH CLAUSE B30.1 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- SINGLE STEP DROP LEVEL WILL BE MARKED CLEARLY VISIBLE.
- STRUCTURAL PLAN TO BE SUBMITTED SEPARATELY.
- F.R.R. ENCLOSURE TO NON-EMERGENCY SERVICES IN STAIRCASES TO BE COMPLIED WITH CLAUSE C9.3 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- DOORS INCLUDING ONE LEAF OF A PAIR OF DOUBLE DOORS, WILL HAVE A CLEAR WIDTH OF NOT LESS THAN 800mm.
- NEW WINDOWS TO BE PROVIDED AND SUBMITTED BY MINOR WORKS (REF. NO.: MWO2203952)
- THE PREMISES WILL NOT BE CARVED OUT FOR SALES.
- DEMOLITION OF NON-LOADBEARING PARTITION WALLS TO COMPLY WITH PNAP APP-85.
- NEW A/C SUPPORTING FRAME TO BE SUBMITTED BY MINOR WORKS SUBMISSION (REF. NO.: MWO2208960, MWO2208961)
- THE PROPOSED A&A WORKS SHOWN ON THESE DRAWINGS DO NOT RESULT IN ANY ADDITIONAL OPA.
- ERECTION OF NEW EXTERNAL BLOCK WALL TO BE SUBMITTED BY MINOR WORKS SUBMISSION (REF. NO.: MWO2204246)
- FOR LIFT INSTALLATION, THERE ARE DEVIATIONS FROM THE MINIMUM DIMENSIONS GIVEN IN TABLE 1 IN CODE OF PRACTICE FOR BUILDING WORKS FOR LIFTS AND ESCALATORS 2011. A LETTER REF. EL-G-220108 DATED 06.01.2022 FROM REGISTERED LIFT ENGINEER AUTHORIZED BY THE REGISTERED CONTRACTOR SIGMA ELEVATOR (HK) LTD. WAS RECEIVED CONFIRMING THAT:
 - THE LIFT INSTALLATIONS CAN BE ACCOMMODATED IN EXISTING MACHINE ROOM AND LIFT WELL.
 - ANY FUTURE MAINTENANCE, REPAIR, MAJOR RENOVATION, REPLACEMENT, EXAMINATION AND TESTING OF LIFT CAN BE CARRIED OUT IN EXISTING MACHINE ROOM SAFELY AND WITHOUT DIFFICULTY; AND
 - THE LIFT INSTALLATIONS ARE IN FULL COMPLIANCE WITH THE CODE OF PRACTICE ON THE DESIGN AND CONSTRUCTION OF LIFTS AND ESCALATORS ISSUED UNDER THE LIFTS AND ESCALATORS (SAFETY) ORDINANCE.
- NEW A/C PLUMBING FOR WATER PUMPS IN PUMP ROOMS TO BE SUBMITTED BY MINOR WORKS SUBMISSION (REF. NO.: MWO2206864)
- NEW SIGNAGE ON EXTERNAL WALL TO BE SUBMITTED BY MINOR WORKS SUBMISSION (REF. NO.: MWO2206897)

F.S. NOTES:

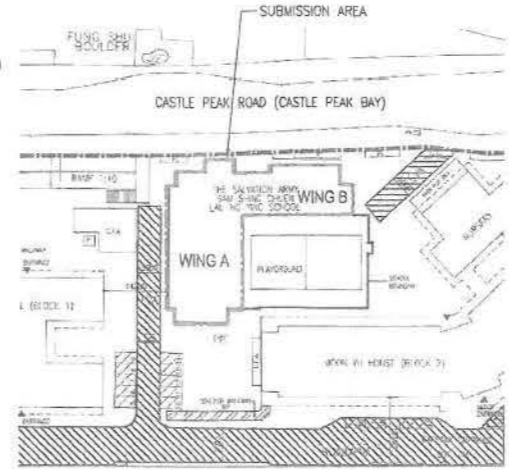
- GENERAL
 - ALL EXISTING FIRE SERVICES PROVISIONS SHALL REMAIN UNCHANGED EXCEPT THOSE AS STATED BELOW.
- FIRE HYDRANT AND HOSE REEL SYSTEM
 - EXISTING FIRE HYDRANT AND HOSE REEL SYSTEM WITH FS WATER TANKS (EFFECTIVE VALUE = 27m²) AND 2 NOS. FIXED FIRE PUMPS LOCATED INSIDE ROOF FS PUMP SHALL BE RETAINED AND INDICATED ON PLANS.
 - FIRE HYDRANTS SHALL BE PROVIDED AND PROMINENTLY SITED IN AN APPROACH LOBBY TO A REQUIRED STAIRCASE OR REQUIRED STAIRCASE ENCLOSURE AS INDICATED ON PLANS IN ACCORDANCE WITH FSD CIRCULAR LETTER NO. 2/2013.
 - HOSE REELS SHALL BE MODIFIED TO SUIT THE NEW LAYOUT OF A&A WORKS AS INDICATED ON PLANS AND ENSURE THAT EVERY PART OF THE BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30M HOSE REEL TURNING.
 - LOCATIONS OF EXISTING FS INLETS AND NEW FS INLET SHALL BE PROVIDED AS INDICATED ON PLANS. ALL FS INLETS ARE INTER-CONNECTED.
 - ONE MANUAL ACTUATING POINT & ONE AUDIO WARNING DEVICE SHALL BE PROVIDED FOR EACH HOSE REEL POINT. THIS MANUAL ACTUATING POINT SHALL FACILITATE THE FIRE PUMP ACTUATION & AUDIO/VISUAL WARNING ALARM INITIATION.
- SPRINKLER SYSTEM
 - NEW SPRINKLER SYSTEM SHALL BE PROVIDED FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN IN ACCORDANCE WITH LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12845:2015, FSD CIRCULAR LETTER NO. 5/2020 & 4/96 AND TECHNICAL GUIDANCE (APPLICATION OF LOSS PREVENTION COUNCIL RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS 2015 INCORPORATING BS EN 12845 IN HONG KONG) AS THE FIRE SAFETY MEASURES AS STATED IN CODE OF PRACTICE FOR SAFETY IN BUILDINGS 2011.
 - THE SPRINKLER SYSTEM SHALL BE PROVIDED BY IMPROVED SPRINKLER SYSTEM WHICH IS CONNECTED FROM EXISTING FIRE HYDRANT/HOSE REEL SYSTEM IN ACCORDANCE WITH FSD CIRCULAR LETTER NO. 4/96.
 - THE SPRINKLER SYSTEM IS CLASSIFIED AS ORDINARY HAZARD GROUP 1 (OH1).
 - NEW SPRINKLER PUMPS (ONE DUTY AND ONE STANDBY) SHALL BE PROVIDED AS INDICATED ON PLANS.
 - LOCATION OF SPRINKLER INLET AND SPRINKLER CONTROL VALVE SHALL BE PROVIDED AS INDICATED ON PLANS.
 - A MAIN FIRE ALARM CONTROL AND ANNUNCIATION PANEL SHALL BE PROVIDED FOR THE SPRINKLER SYSTEMS AND TO BE LOCATED INSIDE SPRINKLER CONTROL VALVE ROOM AT G/F TO INDICATE THE FLOOR / ZONE UPON THE SPRINKLER OPERATED.
- FIRE DETECTION AND FIRE ALARM SYSTEM
 - EXISTING MANUAL FIRE ALARM SYSTEM TO BE RETAINED AND MODIFIED TO SUIT A&A WORKS IN ACCORDANCE WITH THE BS 5839-1:2002 + A2:2008 AND FSD CIRCULAR LETTER NO. 1/2009 & 3/2010.
 - NEW FIRE DETECTION SYSTEM SHALL BE PROVIDED FOR THE RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN ONLY AS STATED IN CLAUSE C13.4 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011. NO FIRE DETECTION SYSTEM WILL BE PROVIDED FOR ALL E&M PLANT ROOM AS THE ENTIRE BUILDING IS RESIDENTIAL USE.
 - NEW VISUAL FIRE ALARM SYSTEM (FLASHING RED LIGHT) SHALL BE PROVIDED IN ACCORDANCE WITH BARRIER FREE ACCESS 2008 AND FSD CIRCULAR LETTER NO. 2/2012.
 - A MAIN FIRE ALARM CONTROL AND ANNUNCIATION SYSTEM PANEL SHALL BE PROVIDED INSIDE SPRINKLER CONTROL VALVE ROOM AT G/F IN ACCORDANCE WITH CLAUSE C13.4 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
 - ALL FIRE ALARM SIGNAL, INCLUDING THE ALARM FROM MANUAL FIRE ALARM SYSTEM AND SPRINKLER SYSTEM SHALL BE TRANSMITTED TO THE FIRE SERVICES COMMUNICATION CENTRE VIA A DIRECT TELEPHONE LINK FROM THE MAIN FIRE ALARM CONTROL PANELS.
- PORTABLE HAND-OPERATED APPROVED APPLIANCES
 - PORTABLE FIRE EXTINGUISHERS WITH SPECIFIED TYPE SHALL BE PROVIDED AS INDICATED ON PLANS.
- EMERGENCY LIGHTING AND EXIT SIGN
 - EMERGENCY LIGHTING SHALL BE PROVIDED TO THE ENTIRE BUILDING IN ACCORDANCE WITH BS 5266 PART 1:2011 & BS EN 1609:2013.
 - EMERGENCY LIGHTING WITH BATTERY BACKUP ONLY SHALL BE PROVIDED TO THE STAIRCASE AND COMMON AREAS SUCH AS OPEN CORRIDOR.
 - NO EMERGENCY LIGHTING WILL BE PROVIDED FOR RESIDENTIAL FLAT UNITS, CABLE DUCT, PIPE DUCT, TELEPHONE DUCT AND SERVICE DUCT.
 - SUFFICIENT DIRECTIONAL AND EXIT SIGNS SHALL BE PROVIDED TO ENSURE ALL EXIT ROUTES FROM ANY PUBLIC AREAS TO STAIRCASES ARE CLEARLY INDICATED AND COMPLIED WITH FSD CIRCULAR LETTER NO. 5/2008. THESE SIGNS SHALL BE CONNECTED TO BOTH MAINS POWER SUPPLY AND SECONDARY BATTERY IN ACCORDANCE WITH BS2666-1:2011.
- SECONDARY ELECTRICAL SUPPLY
 - EXISTING SECONDARY ELECTRICAL SUPPLY TEE-OFF BEFORE MAIN SWITCH SHALL BE RETAINED TO MAINTAIN OPERATION OF THE FIRE SERVICE SYSTEMS IN THE EVENT OF NORMAL POWER FAILURE. EMERGENCY GENERATOR WILL NOT BE PROVIDED.
- VENTILATION / AIR CONDITIONING CONTROL SYSTEM
 - VENTILATION / AIR CONDITIONING CONTROL SYSTEM SHALL BE PROVIDED, AND IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN DESIGNATED FIRE COMPARTMENTATION.
- OTHER FSD REQUIREMENTS
 - ALL LINKS FOR ACOUSTIC AND THERMAL INSULATION PURPOSES IN DUCTING AND CONCEALED LOCATIONS SHALL BE OF CLASS 1 OR CLASS 2 RATE OF SURFACE SPREAD OF FLAME AS PER BRITISH STANDARD 476-PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
 - ALL LINKS FOR ACOUSTIC, THERMAL INSULATION AND DECORATIVE PURPOSES WITHIN PROTECTED MEANS OF ESCAPE SHALL BE OF CLASS 1 OR CLASS 2 RATE OF SURFACE SPREAD OF FLAME AS PER BRITISH STANDARD 476-PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
 - ANY INTENDED STORAGE OR USE OF DANGEROUS GOODS AS DEFINED IN CHAPTER 285 OF THE LAWS OF HONG KONG SHOULD BE NOTIFIED TO THE DIRECTOR OF FIRE SERVICES.
- FIRE SAFETY PROVISIONS FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN
 - FIRE SAFETY PROVISIONS FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN SHALL COMPLY WITH CLAUSE C13.4 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
 - FIRE DETECTION SYSTEM
 - ADDRESSABLE SMOKE DETECTOR(S) FITTED WITH SOUNDER BASE SHALL BE PROVIDED INSIDE SUBJECT FLAT WITH PANTRY COUNTER (EXCLUDE BATHROOM). THE ALARM SIGNAL OF THE SMOKE DETECTORS SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL OF THE BUILDING AND SHOULD NOT BE LINKED TO THE FIRE SERVICES COMMUNICATION CENTRE.
 - ADDRESSABLE SMOKE DETECTOR(S) SHALL BE PROVIDED AT THE COMMON AREA OUTSIDE THE SUBJECT FLATS) WITH PANTRY COUNTER (EXCLUDE STAIRCASES AND STAIRCASE LOBBIES). THE ALARM SIGNAL OF THE SMOKE DETECTORS SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL, THE COMMON FIRE ALARM SYSTEM OF THE BUILDING AND THE FIRE SERVICES COMMUNICATION CENTRE.
 - SPRINKLER SYSTEM
 - SPRINKLER HEAD(S) SHALL BE PROVIDED TO COVER THE NOTIONAL PANTRY COUNTER AREA. THE ALARM SIGNAL OF THE SYSTEM SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL, THE COMMON FIRE ALARM SYSTEM OF THE BUILDING AND THE FIRE SERVICES COMMUNICATIONS CENTRE.
 - NEW PANTRY COUNTER WITH SINK IS EQUIVALENT TO OPEN KITCHEN AS INDICATED ON PLANS.
 - THE CONDITION STATED IN CLAUSE F5.8 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011 SHALL BE INCORPORATED INTO THE FIRE SAFETY MANAGEMENT PLAN (FSMP) AND DEED OF MUTUAL COVENANT (DMC). THE AUTHORIZED PERSON IS RESPONSIBLE FOR ENSURING THAT FINALIZED FSMP FOR RESIDENTIAL FLATS WITH OPEN KITCHEN ARE ENDORSED BY BD / FSD BEFORE FSI ACCEPTANCE INSPECTION.
 - A FULL HEIGHT WALL HAVING AN F.R.R. OF NOT LESS THAN -/30/30 WOULD BE PROVIDED ADJACENT TO THE FLAT EXIT DOOR. THE WIDTH WOULD NOT BE LESS THAN 800mm.



SITE PLAN N.T.S.

DOOR SCHEDULE:

- | | |
|--|--|
| 1. H.W. ACCESS PANEL WITH F.R.R. -/60/60 | 17. 600+600mm(W) DOUBLE LEAF DOOR SELF CLOSING H.W. DOOR WITH F.R.R. -/60/60 |
| 2. 800+800mm(W) DOUBLE LEAF F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND VISION PANEL | 18. 850mm(W) SINGLE LEAF DOOR SELF CLOSING H.W. DOOR WITH DEAD BOLT |
| 3. 900mm(W) SINGLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL | 19. 850mm(W) SINGLE LEAF DOOR SELF CLOSING H.W. DOOR WITH VISION PANEL AND DEAD BOLT |
| 4. 850mm(W) SINGLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND DEAD BOLT | 20. 850mm(W) SINGLE LEAF DOOR SELF CLOSING METAL DOOR WITH DEAD BOLT |
| 5. 850mm(W) SINGLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH VISION PANEL, SMOKE SEAL AND DEAD BOLT | 21. 850mm(W) SINGLE LEAF DOOR F.R.R.-/120/120 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND DEAD BOLT |
| 6. 800mm+600mm(W) DOUBLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND VISION PANEL | 22. 700mm(W) SINGLE LEAF F.R.R. -/60/60 SELF CLOSING H.W. DOOR |
| 7. 1050mm(W) SINGLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND VISION PANEL | 23. 600mm(W) H.W. ACCESS PANEL WITH F.R.R. -/60/60 |
| 8. 1050mm(W) SINGLE LEAF DOOR F.R.R.-/60/60 SELF CLOSING H.W. DOOR WITH SMOKE SEAL AND VISION PANEL | 24. 800mm+800mm(W) GLASS DOOR |
| 9. 800+800mm(W) DOUBLE LEAF SELF CLOSING METAL DOOR | 25. 1050mm(W) SLIDING DOOR WITH LOUVER |
| 10. 800+800mm(W) DOUBLE LEAF SELF CLOSING METAL DOOR WITH PANIC SAFETY OPERATED FROM INSIDE (COMPLIED WITH C.O.P. FIRE SAFETY IN BUILDING 2011 CLAUSE B13.2) | 26. 600mm(W) FOLDING DOOR WITH LOUVER |
| 11. 1300mm(W) SINGLE LEAF SELF CLOSING METAL DOOR WITH PANIC SAFETY OPERATED FROM INSIDE (COMPLIED WITH C.O.P. FIRE SAFETY IN BUILDING 2011 CLAUSE B13.2) | 27. 900mm(W) H.W. DOOR WITH LOUVER |
| 12. 800+800mm(W) DOUBLE LEAF SELF CLOSING METAL DOOR WITH PANIC SAFETY OPERATED FROM INSIDE (COMPLIED WITH C.O.P. FIRE SAFETY IN BUILDING 2011 CLAUSE B13.2) | |



BLOCK PLAN N.T.S.

LEGEND:

- EXISTING E&A BASED ON AVAILABLE RECORD PLAN (HORIZONTAL TO WITHSTAND 30 TONNES LOADING AND GRADIENT NOT STEEPER THAN 1:10)
- STRUCTURAL FLOOR LEVEL
- FINISHED FLOOR LEVEL
- P.D. P/L/PE DUCT
- M.V.L. MECHANICAL VENTILATION & ARTIFICIAL LIGHTING
- ARTIFICIAL LIGHTING
- 1500mm x 1500mm
- F.A.I. FRESH AIR INTAKE
- E.A.O. EXHAUST AIR OUTLET
- T.R.S. TEMPORARY REFUGE SPACES
- C.L. CAT LADDER
- ACCESSIBLE LIFT

COLOUR INDICATION:

- ROCK WALL WITH F.R.R. -/60/60
- BLOCK WALL WITH F.R.R. -/30/30
- BLOCK WALL WITH F.R.R. -/120/120
- EXISTING SLAB TO BE UPGRADED TO F.R.R. 120/120/120 (CEILING AND FLOOR)
- CONCRETE SLAB (LIGHTER SHADE)
- CONCRETE (PLAIN OR REINFORCED)
- GLASS
- TIMBER
- METAL WORK OR STEEL
- SANITARY FITTINGS
- EMERGENCY VEHICULAR ACCESS
- PLASTER OR CEMENT RENDERING
- FIBREGLASS FIRE WATER TANK
- DRAINAGE COVER HOLES NOT EXCEED 20mm x 20mm
- NEW WINDOW MARK

LEGEND FOR FIRE SERVICES:

- CO2/F.E. 45KG FIRE EXTINGUISHER
- F.E. 19A/20 FIRE EXTINGUISHER
- FIRE HYDRANT
- HOSE REEL
- EXIT SIGN
- FS INLET
- DIRECTIONAL EXIT SIGN

NOTE:

- DEMOLITION WORKS / DELETION OF APPROVED WORK
- UNDERLINE FOR REVISION
- NON-SUBMISSION AREA
- SUBMISSION AREA
- BOUNDARY LINE

Note: This plan has been prepared on a detailed check basis under the supervision of the professional engineer in charge. The professional engineer in charge is responsible for the accuracy of the information contained in this plan. The professional engineer in charge is not responsible for the accuracy of the information contained in this plan if it is used for any purpose other than that for which it was prepared.

Plan Approved
 T. T. SUI
 16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

AMENDMENT RECORD PLAN

ICU REF.: HD(CU)E3/103(N)AA(21)
 FSD REF.: FP 8/10568 PLII

NOTES:
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 3. The drawing is to be read in conjunction with the Architects specification & condition of contract.
 4. Drawing not showing the last revisions below are to be cancelled.

REMARKS:
 THE WORKS SHOWN ON THESE PLANS ARE TYPE B WORKS (BUILDING A&A) IN RESPECT OF WHICH LOWEST OF THE APPLIED FOR THE PURPOSE OF THE "TRADE CONTROL AND REGULATORY REGULATION 33 OF THE DOLLAR (ADMINISTRATIVE) REGULATIONS".

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT:
 救世軍 The Salvation Army

AUTHORIZED PERSON:
 KAM YIN CONSULTANTS LIMITED
 TAM TIN SUI
 Associate Director

BUILDING SERVICES ENGINEER:
 T. T. SUI

REGISTERED STRUCTURAL ENGINEER:
 ATTHI KUN YOUNG AND ASSOCIATES COMPANY LTD.
 黃守達工程師事務所

QUANTITY SURVEYOR:
 OnS

DESIGNED BY	NAME	SIGNED	DATE
DESIGNED BY	KCL	[Signature]	08-2021
DRAWN BY	KT	[Signature]	08-2021
CHECKED BY	KL	[Signature]	08-2021
APPROVED BY	KCL	[Signature]	08-2021

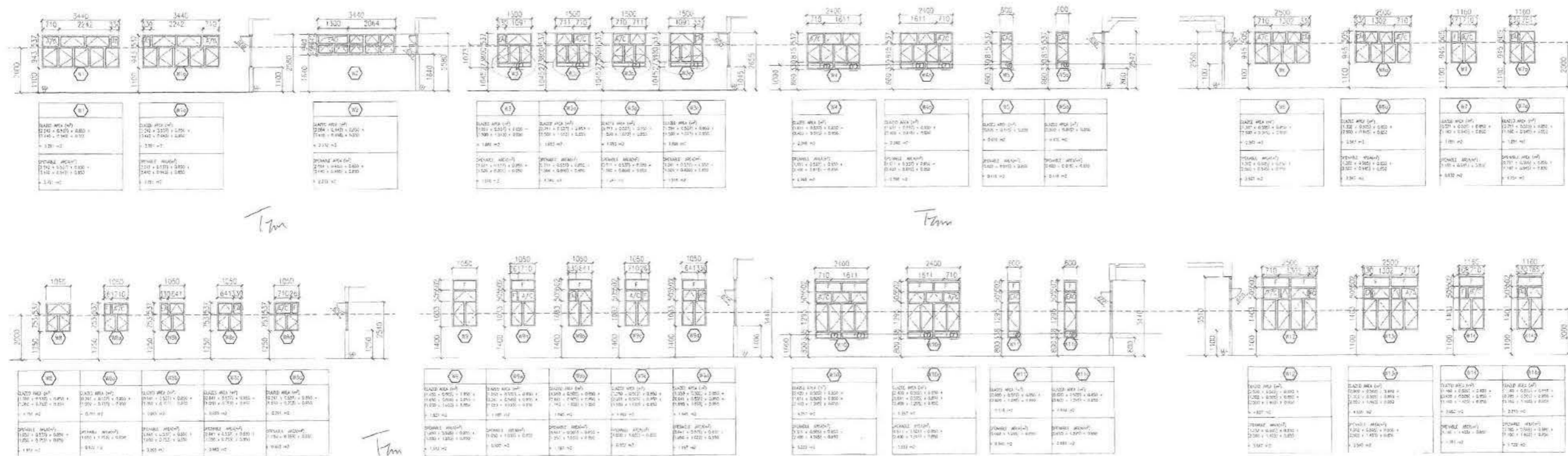
PROJECT:
 BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TIEN MUN, NEW TERRITORIES

DRAWING TITLE:
 NOTES, SITE PLAN, SCHEDULES, BLOCK PLAN AND LEGENDS

JOB NO.: 729 DATE: 08-2021
 DRAWING NO.: GP-01 REV.: C SCALE: N.T.S.

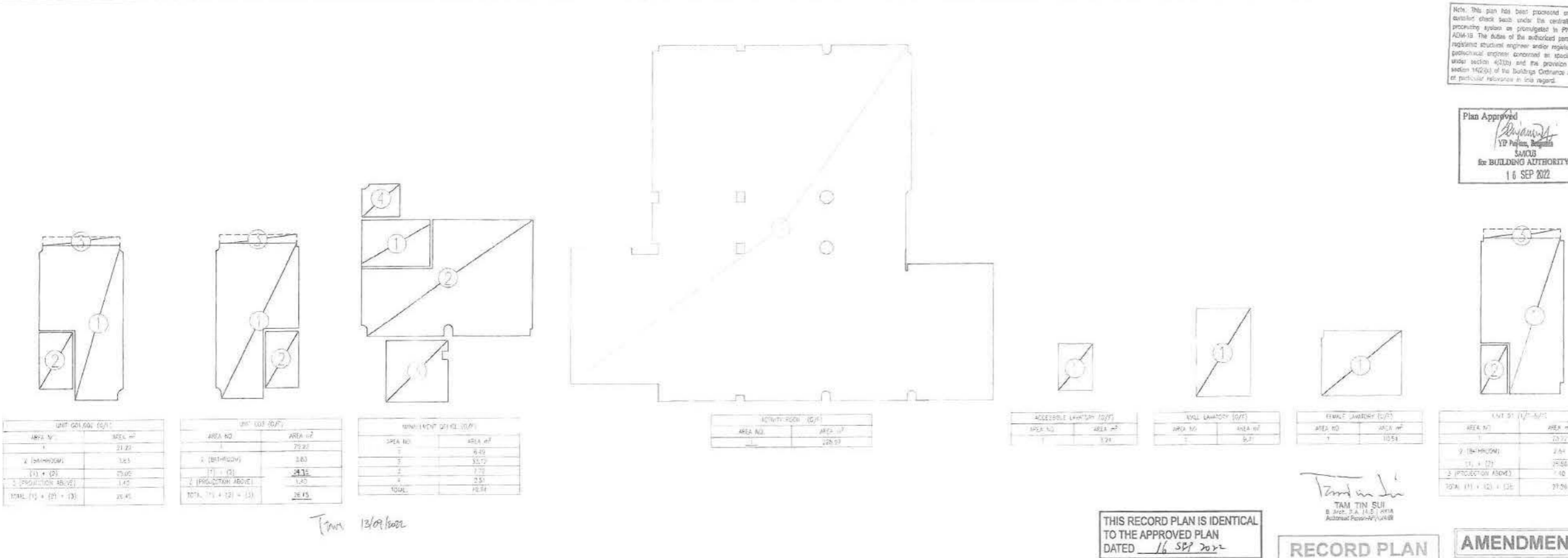
ICU REF.: HD(CU)E3/103(N)AA(21)-D PC4

USABLE WINDOW AREA DIAGRAM N.T.S. (VIEW FROM EXTERNAL) (FOR INFORMATION ONLY)



NOTES:
 (1) ALL WINDOWS AND PROTECTIVE SHIELDS TO BE PROVIDED AND SUBMITTED UNDER WIND LOAD CONTROL SYSTEM.
 (2) TEMPERED GLASS TO BE USED FOR ALL WINDOWS, WITH GLASS WITHIN LESS THAN 100MM FROM P.P.L. IN CONFORMANCE WITH CODE OF PRACTICE FOR STRUCTURAL USE OF GLASS 2015.
 * LEGEND (T): TEMPERED GLASS

USABLE FLOOR AREA / USABLE FLOOR SPACE CALCULATION (FOR PROPOSED WINDOW & MEANS OF ESCAPE CALCULATION)



Notes: This plan has been prepared on a computer check table under the computerized processing system on photocopied by P&AP ADM-19. The duties of the authorized person, registered structural engineer and/or registered professional engineer concerned are specified under section 4(3)(b) and the provision of section 14(2)(b) of the Buildings Ordinance are of particular relevance in this regard.

Plan Approved
 YIP YIP
 for BUILDING AUTHORITY
 16 SEP 2022

UNFLOOR (SQM)		UNFLOOR (SQM)		UNFLOOR (SQM)	
AREA NO.	AREA M ²	AREA NO.	AREA M ²	AREA NO.	AREA M ²
1	21.21	1	26.3	1	24.3
2 (DINING ROOM)	3.83	2 (BATHROOM)	2.63	2	2.51
3 (1) + (2)	25.04	3 (1) + (2)	28.93	3	26.81
4 (PROTECTION ABOVE)	1.42	4 (PROTECTION ABOVE)	1.42	4	2.51
TOTAL (1) + (2) + (3)	26.45	TOTAL (1) + (2) + (3)	28.93	TOTAL (1) + (2) + (3)	29.32

Tam 13/09/2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN AMENDMENT

ICU REF.: HD(CU)E3/103(N)A(21)
 FSD REF.: FP 8/10568 PL8

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 4. Drawing not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

CLIENT: 救世軍 The Salvation Army

AUTHORIZED PERSON: KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER: SUNLAND

REGISTERED STRUCTURAL ENGINEER: ARTHUR YUN AND ASSOCIATES COMPANY LTD.

QUANTITY SURVEYOR: SONS

DESIGNED	NAME	SIGNED	DATE
1	KCL	[Signature]	08-2021
DRAWN	KT	[Signature]	08-2021
CHECKED	KL	[Signature]	08-2021
APPROVED	KCL	[Signature]	08-2021

PROJECT: BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUN MUN, NEW TERRITORIES

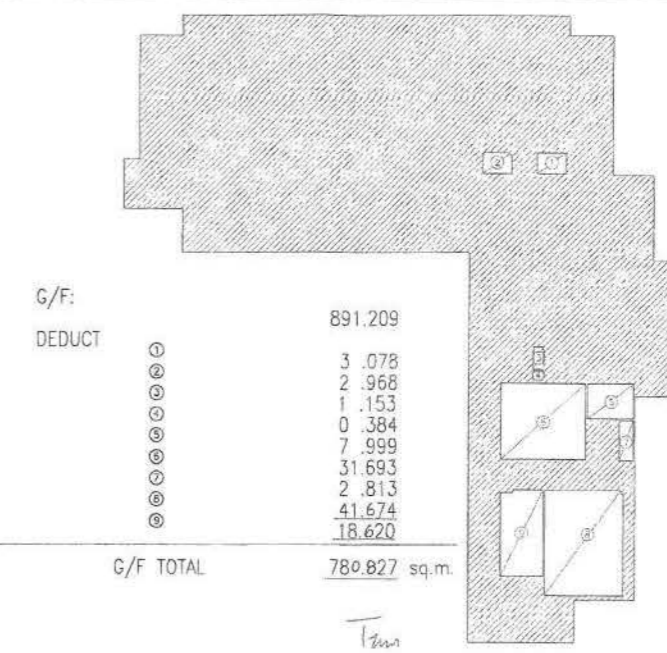
DRAWING TITLE: WINDOW AND U.F.A. DIAGRAM

JOB NO.: 729 DATE: 08-2021
 DRAWING NO.: REV. SCALE: GP-02 C N.T.S.

USABLE FLOOR AREA CALCULATION (FOR PROPOSED WINDOW CALCULATION)

TOTAL FLOOR AREA (FOR FSD REFERENCE ONLY)

UNIT	AREA NO.	AREA m ²
UNIT 02 (1/F - 5/F)	1	23.58
	2 (BATHROOM)	2.57
	(1) + (2)	26.15
	3 (PROJECTION ABOVE)	1.40
TOTAL (1) + (2) + (3)		27.55



G/F:
DEDUCT

①	3.078	
②	2.968	
③	1.153	
④	0.384	
⑤	7.999	
⑥	31.693	
⑦	2.813	
⑧	41.674	
⑨	18.620	
G/F TOTAL		780.827 sq.m.



1/F-6/F:
DEDUCT

①	3.244	
②	1.642	
③	1.634	
EACH FLOOR TOTAL		805.849 sq.m.

ICU REF.: HD(ICU)E3/103(N)A(21)
FSD REF.: FP 8/10568 Pt. II

NOTES:
1. The drawing & design are copyright and no portion may be reproduced without the written permission of the Architect.
2. Use written dimensions or grid lines. Measurements to existing work to be checked on site.
3. This drawing is to be read in conjunction with the Architects specification & condition of contract.
4. Drawing not showing the last revisions below are to be cancelled.

REMARKS:
THE WORKS SHOWN ON THESE PLANS ARE TYPE 'B' WORKS (BATHING, ALL) IN RESPECT OF WHICH CONDECT IS APPLIED FOR THE PURPOSE OF FACT TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (SUBMISSION) REGULATIONS.

NO.	DATE	DESCRIPTIONS
B	08-2022	GEP AMENDMENT
A	12-2021	GEP AMENDMENT
O	09-2021	GEP SUBMISSION

CLIENT
救世軍
The Salvation Army

AUTHORIZED PERSON
K KAMYIN CONSULTANTS LIMITED
TAM TIN SUI

BUILDING SERVICES ENGINEER
SUNLAND P&S

REGISTERED STRUCTURAL ENGINEER
ARTHUR YU & ASSOCIATES COMPANY LTD.
楊孝達工程師事務所

QUANTITY SURVEYOR
inS

DESIGNED	NAME	SIGNED	DATE
KT	KCL	[Signature]	08-2021
KT	KT	[Signature]	08-2021
KL	KL	[Signature]	08-2021
KCL	KCL	[Signature]	08-2021

PROJECT:
BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TIEN MUH, NEW TERRITORIES

DRAWING TITLE
U.F.A. DIAGRAM

JOB NO.	DATE
729	08-2021
REV. <td>SCALE</td>	SCALE
GP-03	B N.T.S.

NOTE: This plan has been prepared on a certified check book under the centralized processing system as promulgated in PIMP ADM-15. The above is the authorized person registered structural engineer and registered professional engineer registered as approved under section 47(2) and the provision of section 142(1) of the Building Ordinance and of particular reference is 201 signed.

Plan Approved
YE Ho-yan, Engineer
SARCS
for BUILDING AUTHORITY
16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2021

RECORD PLAN
AMENDMENT

ROOM	U.F.A. (m ²)	WINDOW AREA REQUIRED		WINDOW TYPE	WINDOW AREA PROVIDED	
		GLAZED (m ²)	OPENABLE (m ²)		GLAZED (m ²)	OPENABLE (m ²)
		(U.F.A. x 1/10)	(U.F.A. x 1/10)			
OFFICE (6/F)	52.47	5.247	3.280 (U.F.A. x 1/16)	-	-	-
UNIT 01 (6/F)	26.45	2.645	2.645	W1	3.781	3.781
UNIT 02 (6/F)	26.45	2.645	2.645	W1	3.781	3.781
UNIT 03 (6/F)	26.45	2.645	2.645	W1a	3.781	3.781
UNIT 01* (1/F-5/F)	27.28	2.728	2.728	W2b W3c	3.559	2.863
UNIT 02* (1/F-5/F)	27.55	2.755	2.755	W3 W3a	3.559	2.863
UNIT 03 (1/F-5/F)	27.55	2.755	2.755	W3b W3c	3.559	2.863
UNIT 04 (1/F-5/F)	27.55	2.755	2.755	W3 W3a	3.559	2.863
UNIT 05 (1/F-5/F)	27.55	2.755	2.755	W3b W3c	3.559	2.863
UNIT 06 (1/F-5/F)	27.55	2.755	2.755	W3 W3a	3.559	2.863
UNIT 07 (1/F-5/F)	27.28	2.728	2.728	W3 W3a	3.559	2.863
UNIT 08 (1/F-5/F)	27.26	2.726	2.726	W3 W3a	3.559	2.863
UNIT 09 (1/F-5/F)	27.55	2.755	2.755	W3b W3c	3.559	2.863
UNIT 10 (1/F-5/F)	27.55	2.755	2.755	W3 W3a	3.559	2.863
UNIT 11 (1/F-5/F)	27.55	2.755	2.755	W3b W3c	3.559	2.863
UNIT 12 (1/F-5/F)	27.55	2.755	2.755	W3 W3a	3.559	2.863
UNIT 13* (1/F-5/F)	27.55	2.755	2.755	W3b W3c	3.559	2.863
UNIT 15* (1/F)	15.34	1.534	1.534	W4	2.388	2.388
UNIT 15* (1/F)	12.77	1.277	1.277	W4a	2.388	2.388
UNIT 15* (2/F-5/F)	15.34	1.534	1.534	W4	2.388	2.388
UNIT 15* (2/F-5/F)	15.34	1.534	1.534	W4a	2.388	2.388
UNIT 17 (1/F-5/F)	21.82	2.182	2.182	W5a	2.567	2.567
UNIT 18 (1/F)	32.34	3.234	3.234	W6 W7	3.628	3.493
UNIT 18 (2/F-5/F)	21.82	2.182	2.182	W6	2.567	2.567
UNIT 19 (2/F-5/F)	21.43	2.143	2.143	W7 W7a	2.345	2.188
UNIT 20 (2/F-5/F)	21.82	2.182	2.182	W6a	2.567	2.567
UNIT 21 (2/F-5/F)	21.82	2.182	2.182	W6	2.567	2.567
UNIT 14 (4/F-5/F)	28.94	2.894	2.894	W3b W3c	3.559	2.863
UNIT 01* (6/F)	27.31	2.731	2.731	W8 W8a W8b	2.907	2.788
UNIT 02* (6/F)	27.28	2.728	2.728	W8 W8a W8b	2.907	2.788
UNIT 03 (6/F)	27.28	2.728	2.728	W8 W8a W8c	2.907	2.788
UNIT 04 (6/F)	27.58	2.758	2.758	W8 W8a W8b	2.907	2.788
UNIT 05 (6/F)	27.58	2.758	2.758	W8 W8a W8c	2.907	2.788
UNIT 06 (6/F)	27.56	2.756	2.756	W8 W8a W8b	2.907	2.788
UNIT 07 (6/F)	27.31	2.731	2.731	W8 W8a W8b	2.907	2.788
UNIT 08 (6/F)	27.31	2.731	2.731	W8 W8a W8c	2.907	2.788
UNIT 09 (6/F)	27.56	2.756	2.756	W8 W8a W8b	2.907	2.788
UNIT 10 (6/F)	27.58	2.758	2.758	W8 W8a W8b	2.907	2.788
UNIT 11 (6/F)	27.58	2.758	2.758	W8 W8a W8c	2.907	2.788
UNIT 12 (6/F)	27.56	2.756	2.756	W8 W8a W8b	2.907	2.788
UNIT 13 (6/F)	27.58	2.758	2.758	W8 W8a W8c	2.907	2.788
UNIT 14 (6/F)	27.31	2.731	2.731	W8 W8a W8b	2.907	2.788
UNIT 15* (6/F)	15.34	1.534	1.534	W10	4.357	3.333
UNIT 16* (6/F)	15.34	1.534	1.534	W10a	4.357	3.333
UNIT 17 (6/F)	21.82	2.182	2.182	W12a	4.607	3.540
UNIT 18 (6/F)	21.82	2.182	2.182	W12	4.607	3.540
UNIT 19 (6/F)	21.43	2.143	2.143	W14 W14a	4.268	3.103
UNIT 20 (6/F)	21.82	2.182	2.182	W13a	4.007	3.540
UNIT 21 (6/F)	21.82	2.182	2.182	W12	4.607	3.540

ROOM	U.F.A. (m ²)	WINDOW AREA REQUIRED		WINDOW TYPE	WINDOW AREA PROVIDED	
		GLAZED (m ²)	OPENABLE (m ²)		GLAZED (m ²)	OPENABLE (m ²)
		(U.F.A. x 1/10)	(U.F.A. x 1/10)			
FEMALE LAVATORY (6/F)	10.54	1.054	1.054	W9	2.232	2.232
UNIT 15 (1/F)	2.84	0.284	0.284	W5	0.418	0.418
UNIT 16 (1/F)	2.84	0.284	0.284	W5a	0.418	0.418
UNIT 15 (2/F-5/F)	2.84	0.284	0.284	W5	0.418	0.418
UNIT 16 (2/F-5/F)	2.84	0.284	0.284	W5a	0.418	0.418
UNIT 15 (6/F)	2.84	0.284	0.284	W11	0.816	0.880
UNIT 16 (6/F)	2.84	0.284	0.284	W11c	0.910	0.660

FLOOR	USE	CLASS	USABLE FLOOR AREA (m ²)	COMPARTMENT AREA / VOLUME	F.R.R. REQ. (MIN)	MIN. DIMENSION FOR ELEMENT OF CONSTRUCTION									
						R.C. SLAB		R.C. BEAM		R.C. COLUMN		R.C. WALL			
						THICKNESS (mm)	COVER TO STEEL (mm)		THICKNESS (mm)	COVER TO STEEL (mm)		THICKNESS (mm)	COVER TO STEEL (mm)		
							PROVIDED	REQUIRED		PROVIDED	REQUIRED		PROVIDED	REQUIRED	
6/F	ACTIVITY ROOM 01-04	5d	228.07	NOT EXCEEDING 2,500m ³	80	150	**12	20	200	**25	30	200	38	100	25
	OFFICE	4e	49.84	NOT EXCEEDING 10,500m ³	80	150	**12	20	200	**25	30	200	38	100	25
	DOMESTIC	1	75.15	NOT LIMITED	80	150	**12	20	200	**25	30	200	38	100	25
	EL. METER ROOM	8	3.00	-	80	150	**12	20	200	**25	30	200	38	100	25
1/F	DOMESTIC	1	338.08	NOT LIMITED	80	150	**12	20	200	**25	30	200	38	100	25
	DOMESTIC	1	338.08	NOT LIMITED	80	150	**12	20	200	**25	30	200	38	100	25
2/F-3/F	DOMESTIC	1	364.94	NOT LIMITED	80	150	**12	20	200	**25	30	200	38	100	25
6/F	DOMESTIC	1	365.05	NOT LIMITED	80	150	**12	20	200	**25	30	200	38	100	25

REMARKS : REFERS TO STRUCTURAL DRAWING (30/S/E-1)
 ** THE FIRE RESISTING RATING/PERIOD SAME AS RECORD PLAN TO BE REMAINED UNCHANGED OR OTHERWISE UPGRADING WORKS WOULD BE CARRIED OUT TO PROVIDE ADEQUATE FIRE

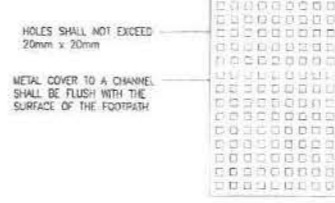
FLOOR	USE	CLASS	USABLE FLOOR AREA (m ²)	COMPARTMENT AREA / VOLUME	F.R.R. REQ. (MIN)	MIN. DIMENSION FOR ELEMENT OF CONSTRUCTION									
						R.C. SLAB		R.C. BEAM		R.C. COLUMN		R.C. WALL			
						THICKNESS (mm)	COVER TO STEEL (mm)		THICKNESS (mm)	COVER TO STEEL (mm)		THICKNESS (mm)	COVER TO STEEL (mm)		
							PROVIDED	REQUIRED		PROVIDED	REQUIRED		PROVIDED	REQUIRED	
6/F	EX. TRANSFORMER ROOM		41.37	-	120	150	25	25	200	40	40	300	30	100	25
	EX. SWITCH ROOM		18.51	-											
	REFUSE STORAGE AND MATERIAL RECOVERY ROOM	B	21.90	-						**30					
	TBE ROOM		8.01	-											
	FLUSHING WATER AND CLEANING WATER PUMP ROOM		27.80	-	80	150	25	20	200	30	30	300	30	100	25
1/F	DOMESTIC	1	78.24	NOT LIMITED	80	150	25	20	200	30	30	200	30	100	25
	STORE ROOM 2	4a	26.34	NOT EXCEEDING 7,000m ³	120	150	25	20	200	30	30	300	30	100	25
2/F-5/F	DOMESTIC	1	129.61	NOT LIMITED	80	150	25	20	200	30	30	200	30	100	25

REMARKS : REFERS TO STRUCTURAL DRAWING (50/S-493/P489/DD001)
 ** THE FIRE RESISTING RATING/PERIOD SAME AS RECORD PLAN TO BE REMAINED UNCHANGED OR OTHERWISE UPGRADING WORKS WOULD BE CARRIED OUT TO PROVIDE ADEQUATE FIRE
 1. EXISTING STRUCTURE TO BE UPGRADED TO F.R.R. 120/120/120.

FLOOR	USE	TOTAL CAPACITY (P)	PROPORTION OF MALE & FEMALE PERSON	NO. OF SANITARY FITMENT REQUIRED				NO. OF SANITARY FITMENT PROVIDED					
				W.C.	BASH	URINAL	SHOWER	W.C.	BASH	URINAL	SHOWER		
6/F	ACTIVITY ROOM 01-04	77	84	M : 42	2	2	1		M	2	2	1	
	OFFICE	6		F : 42	3	2			F	3	2		
	STORE ROOM A	1											
1/F	DOMESTIC	17	1 : 1	UNSEX	2	2			UNSEX	3	3		3
	DOMESTIC	95	1 : 1		8	6		8		15	15		15
	DOMESTIC	104	1 : 1		10	10		10		20	20		20
	DOMESTIC	110	1 : 1		10	10		10		21	21		21
6/F	DOMESTIC	109	1 : 1		10	10		10		21	21		21

DISCHARGE VALUE OF STAIRCASE					
STAIRCASE	NO. OF STOREY SERVED	TOTAL CAPACITY SERVED BY STAIR (PERSON)	CAPACITY	WIDTH OF STAIRCASE (WHL.)	DISCHARGE VALUE OF STAIRCASE
ST-01	6 (1/F TO 6/F)	240	TOTAL CAPACITY OF WING A: 240	1350	495 (P)
ST-02	6 (1/F TO 6/F)	321	TOTAL CAPACITY OF WING A: 240 TOTAL CAPACITY OF WING B: 81	1250	430 (P)
ST-03	6 (1/F TO 6/F)	80	TOTAL CAPACITY OF WING B: 80	1300	430 (P)
TOTAL: 641 < 1355 (PERMITTED)					

REMARKS : TO BE DEMONSTRATED BY PERFORMANCE-BASED APPROACH UNDER PHAP APP 135
 ** NATURAL LIGHTING AND VENTILATION COMPLY WITH BPPR 31



TYPICAL SURFACE CHANNEL COVER DETAIL

REFER TO CAD: GP-03

RSMRC CALCULATION

TOTAL U.F.S. = 3150.77 m²

REFUSE CHAMBER AREA REQUIRED = 3219.54 / 347

= 9.28 m² (REQUIRED) < 21.90 m² (PROVIDED)

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

Plan Approved

[Signature]

16 SEP 2022

REFER TO CAD: GP-05

[Signature]

TAM TIN SUI

THE ROOM CALCULATION (UNDER PHAP-B1)		
	REQUIRED	PROVIDED
NO. OF FLATS IN A BLOCK, N	100 < N < 250	120
MIN. AREA OF THE ROOM (m ²) REQUIRED UNDER BPPR20A	34	0.01
MAX. AREA OF THE ROOM (m ²) REQUIRED THAT MAY BE EXEMPTED UNDER BPPR 23C3(a)	31	
CLEAR HEIGHT OF THE ROOM (m)	2.8	3.2
AS 8.01 m ² (PROVIDED) < 24 m ² (REQUIRED), MODIFICATION REQUIRED.		

RECORD PLAN **AMENDMENT**

ICU REF. : HD(CU)E3/103(N)AA(21)
 FSD REF. : FH 8/10568 PLII

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- Drawing not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
C	08-2022	GRP AMENDMENT
B	07-2022	GRP AMENDMENT
A	12-2021	GRP AMENDMENT
D	09-2021	GRP SUBMISSION

CLIENT:

 救世軍 The Salvation Army

AUTHORIZED PERSON:

 KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER:

 DUNE SUI

REGISTERED STRUCTURAL ENGINEER:

 ARTHUR YUNG AND ASSOCIATES COMPANY LTD
 容守強工程師事務所

QUANTITY SURVEYOR:

 YIN S

DESIGNED :	NAME	SIGNED	DATE
	KL	<i>[Signature]</i>	09-2021

DRAWN :	NAME	SIGNED	DATE
	KT	<i>[Signature]</i>	08-2021

CHECKED :	NAME	SIGNED	DATE
	KL	<i>[Signature]</i>	08-2021

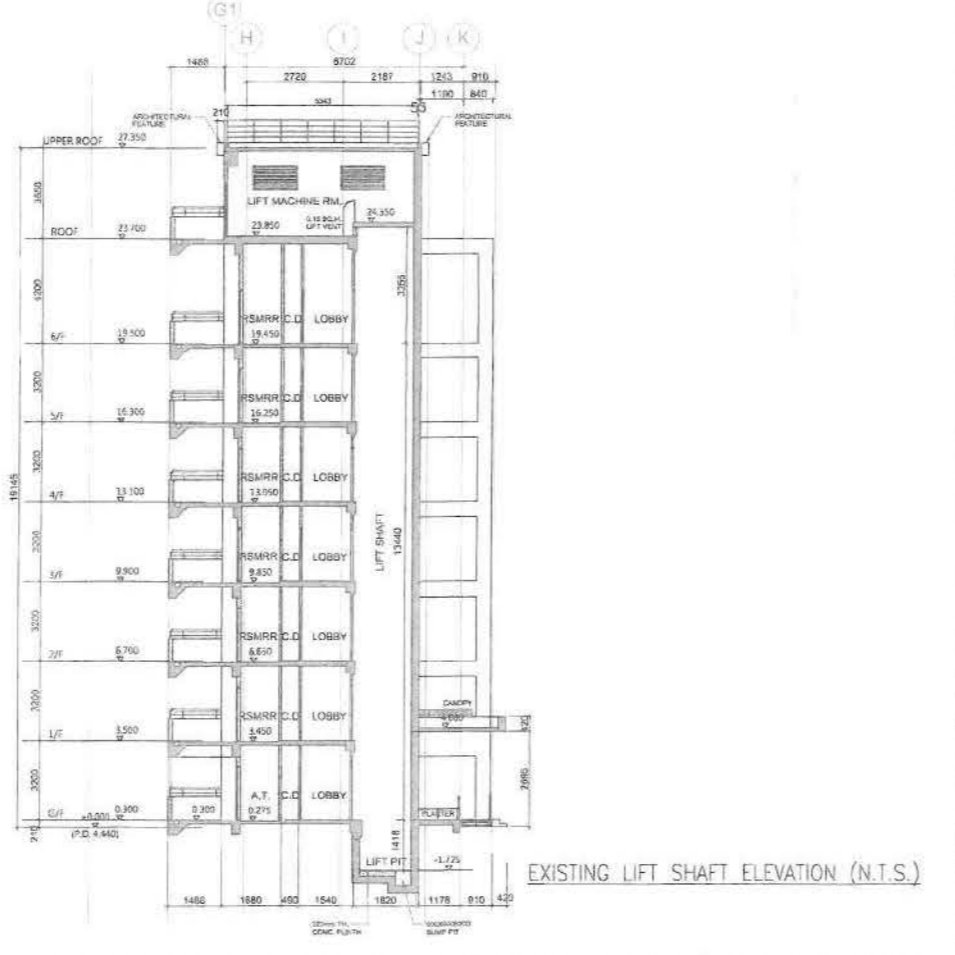
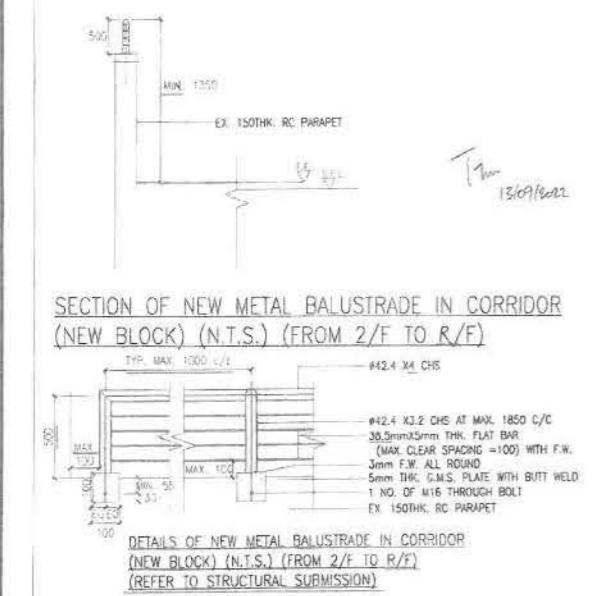
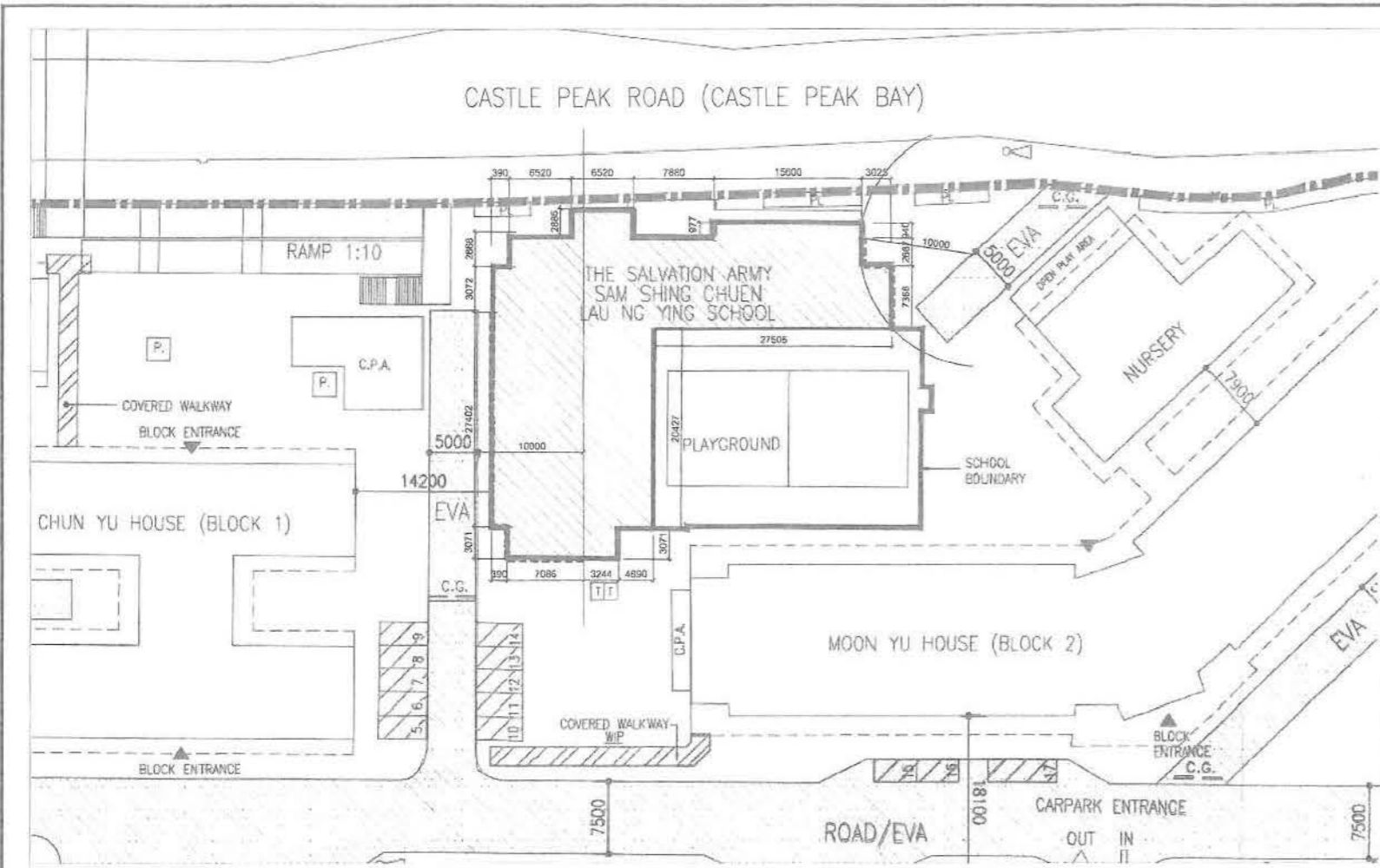
APPROVED :	NAME	SIGNED	DATE
	KL	<i>[Signature]</i>	08-2021

PROJECT :
 BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TIEN MUN, NEW TERRITORIES

DRAWING TITLE :
 WINDOW AREA CALCULATION

JOB NO. :	DATE :
728	09-2021

DRAWING NO. :	REV. :	SCALE :
GP-04		N.T.S.



LIFT SCHEDULE	
RAVED LOAD (IN KG)	800
RAVED SPEED	1.5 m/s
LIFT CAR INTERNAL SIZE	1500mm(W) x 1400mm (D) x 2600mm (H) (SAME AS EXISTING)
DIMENSIONS OF LIFT WELL	2100mm(W) x 2300mm (D) (SAME AS EXISTING)
CLEAR ENTRANCE	900mm(W) x 2100mm (H) (SAME AS EXISTING)
PIT DEPTH	1800mm (SAME AS EXISTING)
MACHINE ROOM DIMENSION	2250mm(W) x 3100mm (D) x 3350mm (H) (SAME AS EXISTING)

EXISTING E.V.A. BASED ON AVAILABLE RECORD PLAN (HARDPAVED TO WITHSTAND 20 TONNES LOADING AND GRADIENT NOT STEEPER THAN 1:10)

EVA DIAGRAM

TOTAL PERIMETER OF BUILDING = 158.821 m

TOTAL PROVIDED LENGTH OF FACADE THAT EVA SERVES = 39.205 m

MINIMUM REQUIRED LENGTH OF FACADE = 158.821 / 4 = 39.205 m

REVISION	DESCRIPTION	DATE	BY	CHK
1	REVISION			
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99	REVISION			
100	REVISION			

ICU REF: HD(CUE)3/103(N)AA(21)

FSD REF: FP 8/10568 PLI

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- Drawing not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTION
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
0	08-2021	GBP SUBMISSION

CLIENT: 救世軍 The Salvation Army

AUTHORIZED PERSON: KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER: TAM TIN SUI

REGISTERED STRUCTURAL ENGINEER: AMY HUI YING AND ASSOCIATES COMPANY LTD.

QUANTITY SURVEYOR: inS

DESIGNED: KCL 08-2021

DRAWN: KT 08-2021

CHECKED: KL 08-2021

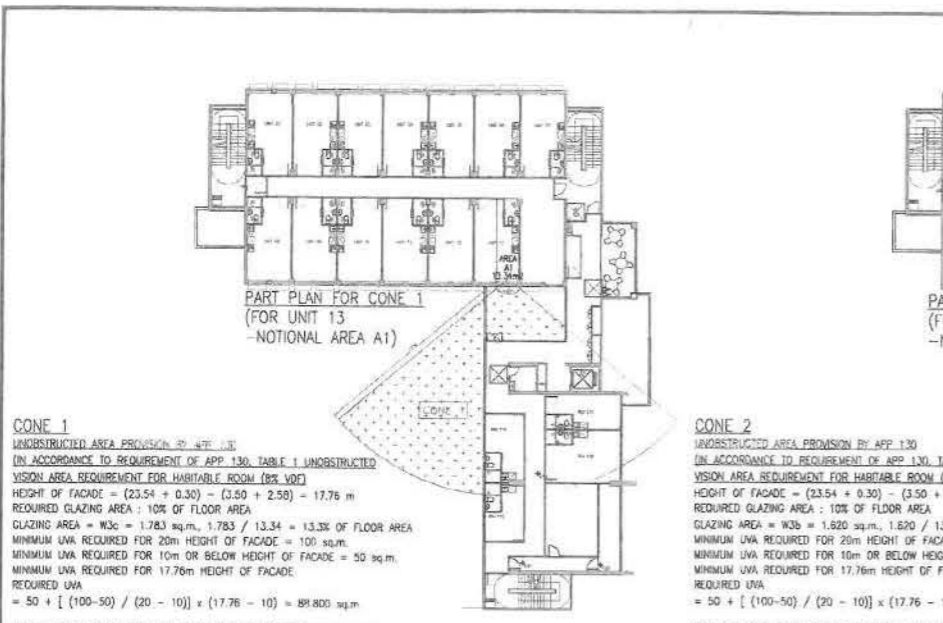
APPROVED: KCL 08-2021

PROJECT: BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

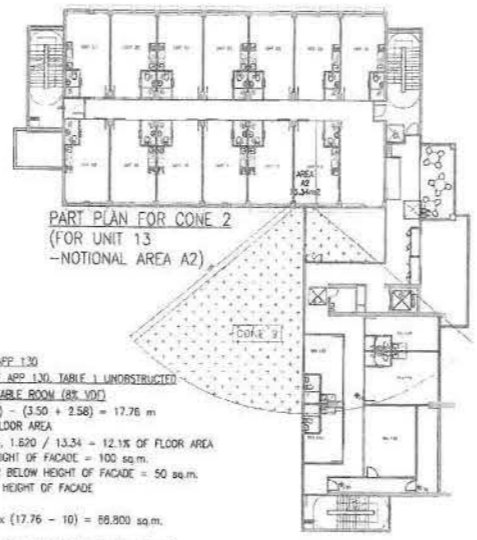
DRAWING TITLE: EVA DIAGRAM AND RHP DIAGRAM

JOB NO.: 728 DATE: 08-2021

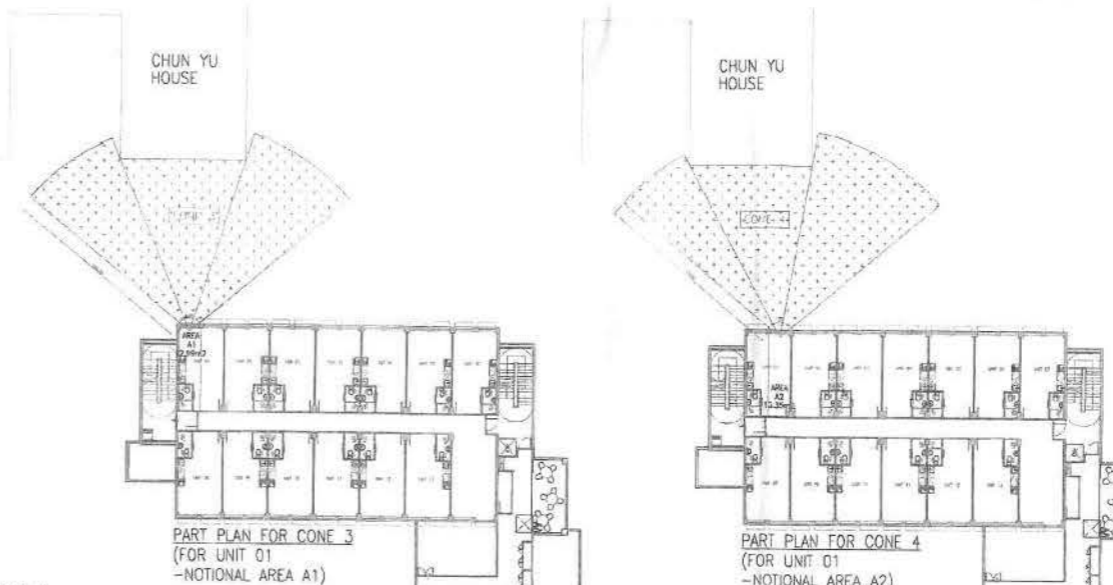
DRAWING NO.: GP-05 REV: C SCALE: N.T.S.



CONE 1
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (23.54 + 0.30) - (3.50 + 2.58) = 17.76 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3c = 1.783 \text{ sq.m.}, 1.783 / 13.34 = 13.3\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 17.76m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (17.76 - 10) = 89.800 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 138.959 sq.m. (PROVIDED) > 89.800 sq.m. (REQUIRED)

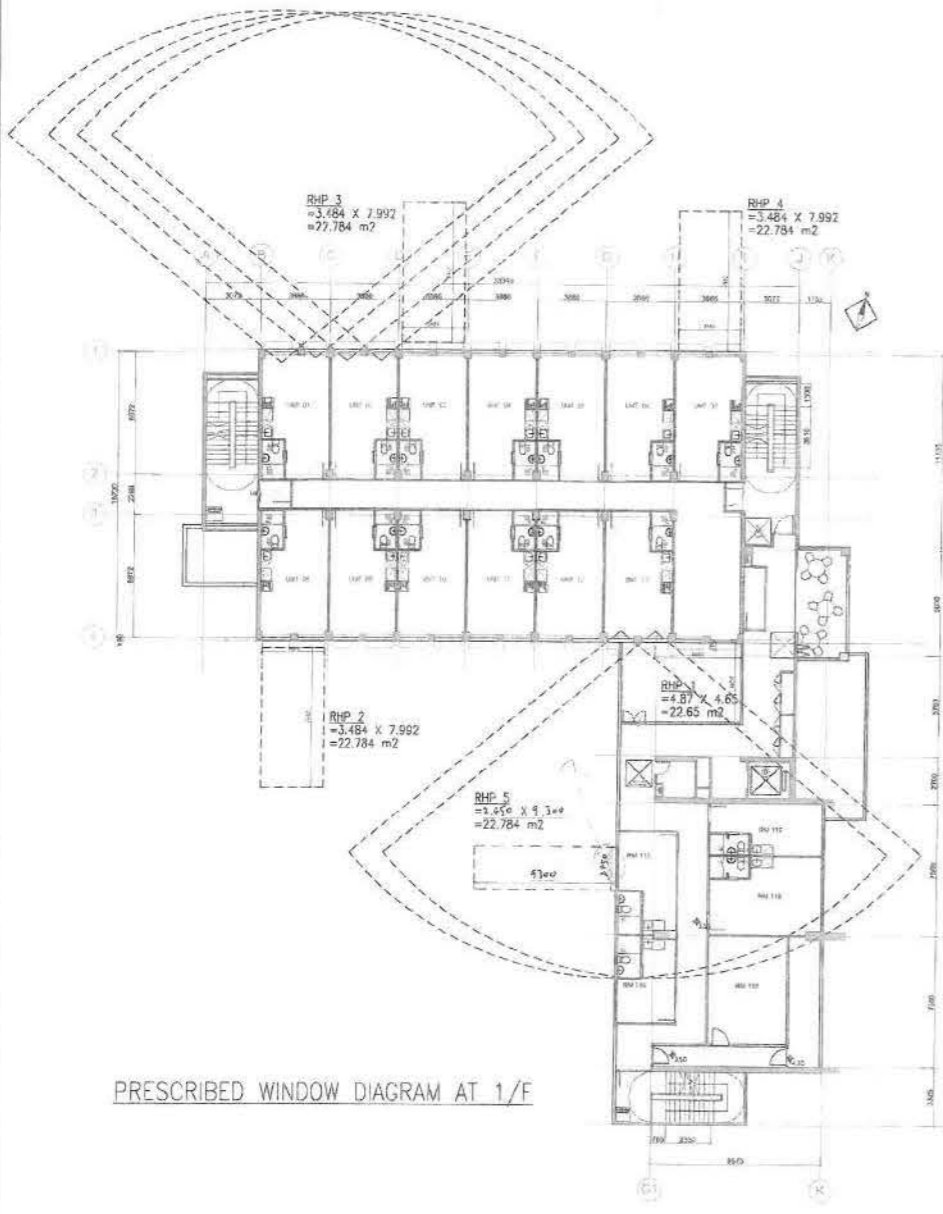


CONE 2
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (23.54 + 0.30) - (3.50 + 2.58) = 17.76 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3c = 1.820 \text{ sq.m.}, 1.820 / 13.34 = 12.1\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 17.76m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (17.76 - 10) = 89.800 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 181.623 sq.m. (PROVIDED) > 89.800 sq.m. (REQUIRED)

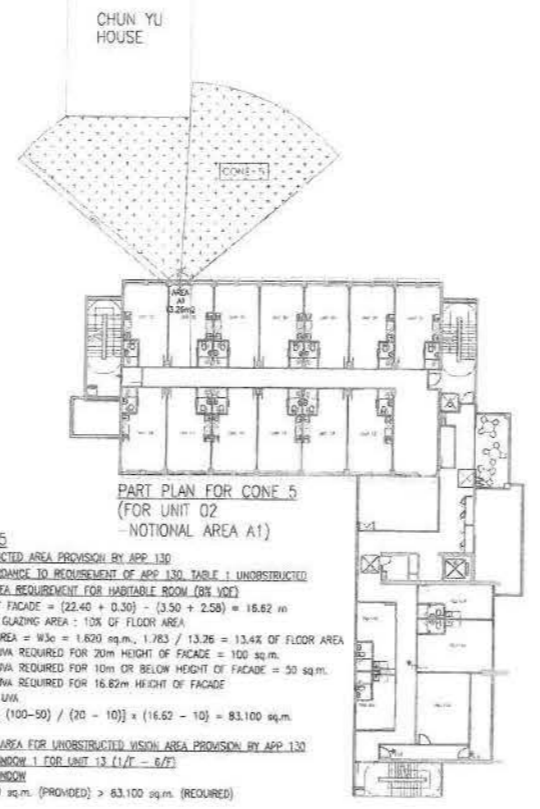


CONE 3
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (22.40 + 0.30) - (3.50 + 2.58) = 16.62 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3c = 1.783 \text{ sq.m.}, 1.783 / 12.09 = 13.7\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 16.62m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (16.62 - 10) = 83.100 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 240.204 sq.m. (PROVIDED) > 83.100 sq.m. (REQUIRED)

CONE 4
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (22.40 + 0.30) - (3.50 + 2.58) = 16.62 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3c = 1.820 \text{ sq.m.}, 1.820 / 13.35 = 12.1\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 16.62m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (16.62 - 10) = 83.100 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 242.744 sq.m. (PROVIDED) > 83.100 sq.m. (REQUIRED)

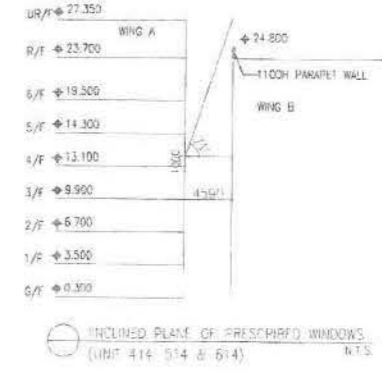


PRESCRIBED WINDOW DIAGRAM AT 1/F



CONE 5
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (22.40 + 0.30) - (3.50 + 2.58) = 16.62 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3c = 1.820 \text{ sq.m.}, 1.783 / 13.36 = 13.4\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 16.62m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (16.62 - 10) = 83.100 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 248.029 sq.m. (PROVIDED) > 83.100 sq.m. (REQUIRED)

CONE 6
 UNOBSTRUCTED AREA PROVISION BY APP 130
 (IN ACCORDANCE TO REQUIREMENT OF APP 130, TABLE 1 UNOBSTRUCTED VISION AREA REQUIREMENT FOR HABITABLE ROOM (BY VOF))
 HEIGHT OF FACADE = (22.40 + 0.30) - (3.50 + 2.58) = 16.62 m
 REQUIRED GLAZING AREA = 10% OF FLOOR AREA
 GLAZING AREA = $W3 = 1.783 \text{ sq.m.}, 1.783 / 13.36 = 13.3\%$ OF FLOOR AREA
 MINIMUM UVA REQUIRED FOR 20m HEIGHT OF FACADE = 100 sq.m.
 MINIMUM UVA REQUIRED FOR 10m OR BELOW HEIGHT OF FACADE = 50 sq.m.
 MINIMUM UVA REQUIRED FOR 16.62m HEIGHT OF FACADE
 REQUIRED UVA
 = $50 + [(100-50) / (20 - 10)] \times (16.62 - 10) = 83.100 \text{ sq.m.}$
 PROVIDED AREA FOR UNOBSTRUCTED VISION AREA PROVISION BY APP 130
 UVA OF WINDOW 1 FOR UNIT 13 (1/F - 6/F)
 UVA OF WINDOW
 = 254.146 sq.m. (PROVIDED) > 83.100 sq.m. (REQUIRED)



THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

Plan Approved
 for BUILDING AUTHORITY
 16 SEP 2022

RECORD PLAN

CU REF.: HD(CU)E3/103(N)AA(21)
 FSD REF.: FP 8/10568 PLII

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 2. Use metric dimensions or grid lines. Measurements to existing work to be checked on site.
 3. This drawing is to be read in conjunction with the Architects specification & condition of contract.
 4. Drawing not showing the last revisions before it to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
B	08-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
O	09-2021	GBP SUBMISSION

CLIENT:
 The Salvation Army

AUTHORIZED PERSON:
 KAMYIN CONSULTANTS LIMITED
 TAM TIN SUK

BUILDING SERVICES ENGINEER:
 SUNLAND

REGISTERED STRUCTURAL ENGINEER:
 ARTHUR YUWANG ASSOCIATES COMPANY LTD.
 容亨達工程師事務所

QUANTITY SURVEYOR:
 ims

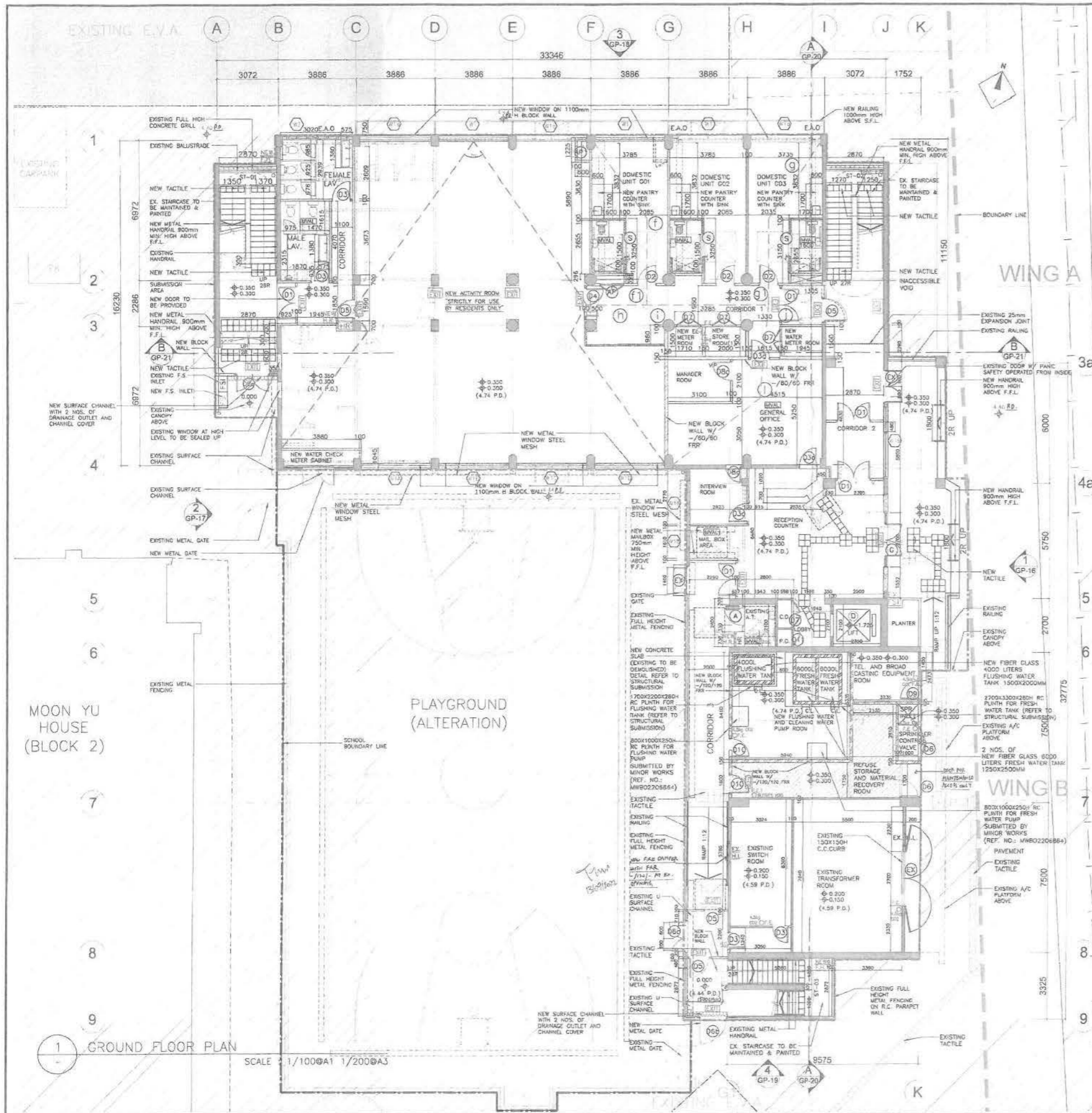
NAME	SIGNED	DATE
DESIGNED :	KCL	08-2021
DRAWN :	KT	08-2021
CHECKED :	NL	08-2021
APPROVED :	KCL	08-2021

PROJECT:
 BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TIEN MUN, NEW TERRITORIES

DRAWING TITLE:
 PRESCRIBED WINDOW DIAGRAM

JOB NO. :	DATE :
739	08-2021

DRAWING NO. :	REV. :	SCALE :
GP-06	B	N.T.S.



TRAVEL DISTANCE CALCULATION SUMMARY OF DISTANCE:

- Ⓐ = 10.238 m
- Ⓑ = 9.998 m
- Ⓒ = 8.580 m
- Ⓓ = 9.631 m
- Ⓔ = 10.963 m
- Ⓘ = 7.835 m
- ⓖ = 7.904 m
- ⓗ = 0.945 m
- Ⓢ = 0.945 m
- Ⓣ = 3.759 m
- Ⓤ = 6.036 m
- Ⓥ = 0.660 m
- Ⓦ = 10.344 m

ACTIVITY ROOM:

DEADEND TRAVEL DISTANCE:

- Ⓒ = 8.580 m < 18 m
- Ⓓ = 9.631 m < 18 m

TRAVEL DISTANCE:

Ⓓ + Ⓢ + Ⓤ + Ⓥ = 20.086 m < 36 m

Ⓐ = 10.238 m < 36 m

Ⓑ + Ⓢ + Ⓤ + Ⓥ = 20.353 m < 36 m

DOMESTIC UNIT 01:

DEADEND TRAVEL DISTANCE:

Ⓣ = 7.835 m < 24 m

Ⓣ + Ⓢ + Ⓤ = 7.641 m < 15 m

DOMESTIC UNIT 03:

DEADEND TRAVEL DISTANCE:

Ⓔ = 8.668 m < 24 m

Ⓔ + Ⓥ = 1.605 m < 15 m

MANAGEMENT OFFICE:

DEADEND TRAVEL DISTANCE:

Ⓦ + Ⓥ = 11.004 m < 18 m

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

Note: This plan has been processed on a curved grid basis under the conventional planning system as prescribed in PIMP AD18. The duties of the authorized person, registered structural engineer and registered electrical engineer appointed as specified under section 4(1)(b) and the provisions of section 14(2)(b) of the Building Ordinance are of particular relevance in this regard.

Plan Approved

 YIP Pak-kin, Registered Structural Engineer
 for BUILDING AUTHORITY
 16 SEP 2022

RECORD PLAN

AMENDMENT

ICU REF.: HD(CU)E3/103(N)A(21)

FSD REF.: FP 8/10598 PUJ

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 - Drawings not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

CLIENT:



NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REGISTERED STRUCTURAL ENGINEER:



REGISTERED STRUCTURAL ENGINEER:
 ARTHUR YONG AND ASSOCIATES COMPANY LTD
 楊學禮工程師事務所

QUANTITY SURVEYOR:



NAME	SIGNED	DATE
DESIGNED :	KCL	08-2021
DRAWN :	KT	08-2021
CHECKED :	KL	08-2021
APPROVED :	KCL	08-2021

PROJECT:

BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT 'SAM SHING' ESTATE, TUN MUN, NEW TERRITORIES

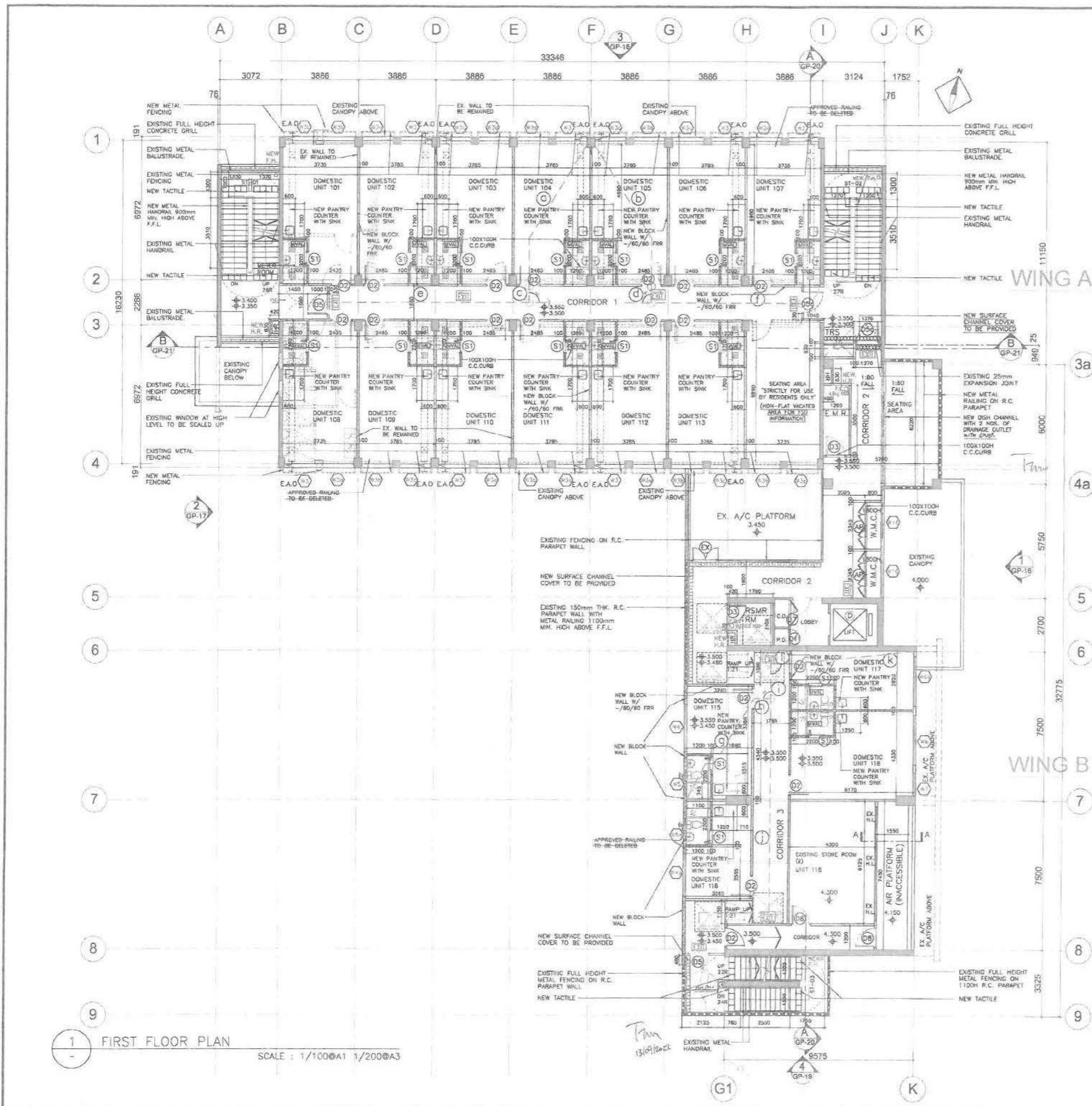
NAME	SIGNED	DATE
DESIGNED :	KCL	08-2021
DRAWN :	KT	08-2021
CHECKED :	KL	08-2021
APPROVED :	KCL	08-2021

PROJECT: BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT 'SAM SHING' ESTATE, TUN MUN, NEW TERRITORIES

DRAWING TITLE:
GROUND FLOOR PLAN

JOB NO. :	DATE :
728	08-2021

DRAWING NO. :	REV. :	SCALE :
GP-08	C	1:100



TRAVEL DISTANCE CALCULATION SUMMARY OF DISTANCE:

a = 7.895 m
 b = 7.895 m
 c = 0.815 m
 d = 0.815 m
 e = 10.023 m
 f = 7.548 m
 g = 7.904 m
 h = 0.846 m
 i = 1.750 m
 j = 16.344 m
 k = 6.303 m
 l = 0.921 m

DOMESTIC UNIT 04:
 DEADEND TRAVEL DISTANCE:
 a = 7.895 m < 24 m
 c = 0.815 m < 15 m
 TRAVEL DISTANCE:
 c + e = 10.838 m < 24 m

DOMESTIC UNIT 05:
 DEADEND TRAVEL DISTANCE:
 b = 7.895 m < 24 m
 d = 0.815 m < 15 m
 TRAVEL DISTANCE:
 d + f = 8.363 m < 24 m

DOMESTIC UNIT 15:
 DEADEND TRAVEL DISTANCE:
 g = 7.904 m < 24 m
 h = 0.846 m < 15 m
 TRAVEL DISTANCE:
 h + j = 17.190 m < 24 m

DOMESTIC UNIT 17:
 DEADEND TRAVEL DISTANCE:
 k = 6.303 m < 24 m
 l = 0.921 m < 15 m
 TRAVEL DISTANCE:
 l + i + j = 19.015 m < 24 m



Note: This plan has been produced on a outlaid check basis and the construction proceeding system as stipulated in PRON 424-15. The roles of the authorized person, registered structural engineer and registered geotechnical engineer concerned as specified under section 4(7)(b) and the provision of section 14(2)(c) of the Building Ordinance are of particular relevance in this regard.

Plan Approved
 YIP Pui-lan, BSc (Eng)
 S.M.C.E.
 for BUILDING AUTHORITY
 16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN
AMENDMENT

ICU REF.: HD(CU)E3/103(N)AA(21)
 FSD REF.: FP 8/10568 PL.II

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 3. This drawing is to be read in conjunction with the Architects specification & condition of contract.
 4. Drawing not showing the last revisions below are to be cancelled.

REMARKS:
 THE WORKS SHOWN ON THESE PLANS ARE TYPE B WORKS (BUILDING AREA) IN RESPECT OF WHICH EXEMPT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 23 OF THE BUILDING (CONSENT) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GRP AMENDMENT
B	07-2022	GRP AMENDMENT
A	12-2021	GRP AMENDMENT
0	09-2021	GRP SUBMISSION

REVISIONS:

CLIENT
 救世軍 The Salvation Army

AUTHORIZED PERSON
 KAMYIN CONSULTANTS LIMITED
 Tsim Tin Shui

BUILDING SERVICES ENGINEER
 SUPRANO

REGISTERED STRUCTURAL ENGINEER
 ARTHUR YUNG AND ASSOCIATES COMPANY LTD
 容孝德工程師事務所

QUANTITY SURVEYOR
 OnS

DESIGNED	NAME	SIGNED	DATE
KG	KG	[Signature]	08-2021
KT	KT	[Signature]	08-2021
KL	KL	[Signature]	08-2021
KG	KG	[Signature]	08-2021

PROJECT:
 FOR
 CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU HO YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

DRAWING TITLE:
 1ST FLOOR PLAN

JOB NO.: 729 DATE: 03-2021
 DRAWING NO.: REV.: SCALE:
 GP-09 C 1:100

- NOTES
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 - This drawing is to be read in conjunction with the Architects specifications & condition of contract.
 - Drawing not showing the last revisions below are to be cancelled.

REMARKS :

THE ABOVE WORK ON THESE PLANS ARE FOR REFERENCE ONLY AND SHALL BE APPLIED FOR THE PURPOSE OF "FAST TRACK" UNDER APPLICATION UNDER REGULATION 15 OF THE BUILDING (ADMINISTRATIVE) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
R	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REVISIONS :

CLIENT



AUTHORIZED PERSON



BUILDING SERVICES ENGINEER



REGISTERED STRUCTURAL ENGINEER



QUANTITY SURVEYOR



DESIGNED	NAME	SIGNED	DATE
DESIGNED :	KCL		08-2021
DRAWN :	KT		08-2021
CHECKED :	KL		08-2021
APPROVED :	KCL		08-2021

PROJECT :

BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

DRAWING TITLE :

2ND FLOOR PLAN

JOB NO. : 725 DATE : 08-2021

DRAWING NO. : REV. : SCALE :

GP 10 C 1:100

TRAVEL DISTANCE CALCULATION SUMMARY OF DISTANCE:

- (a) = 7.895 m
- (b) = 7.895 m
- (c) = 0.815 m
- (d) = 0.815 m
- (e) = 10.023 m
- (f) = 7.548 m
- (g) = 7.904 m
- (h) = 0.846 m
- (i) = 4.408 m
- (j) = 11.888 m
- (k) = 6.986 m
- (l) = 0.811 m
- (m) = 1.811 m

DOMESTIC UNIT 04:

DEADEND TRAVEL DISTANCE:

- (a) = 7.895 m < 24 m
- (c) = 0.815 m < 15 m

TRAVEL DISTANCE:

(c) + (e) = 10.838 m < 24 m

DOMESTIC UNIT 05:

DEADEND TRAVEL DISTANCE:

- (b) = 7.895 m < 24 m
- (d) = 0.815 m < 15 m

TRAVEL DISTANCE:

(d) + (f) = 8.363 m < 24 m

DOMESTIC UNIT 15:

DEADEND TRAVEL DISTANCE:

- (g) = 7.904 m < 24 m
- (h) = 0.846 m < 15 m

TRAVEL DISTANCE:

(h) + (i) + (j) = 17.142 m < 24 m

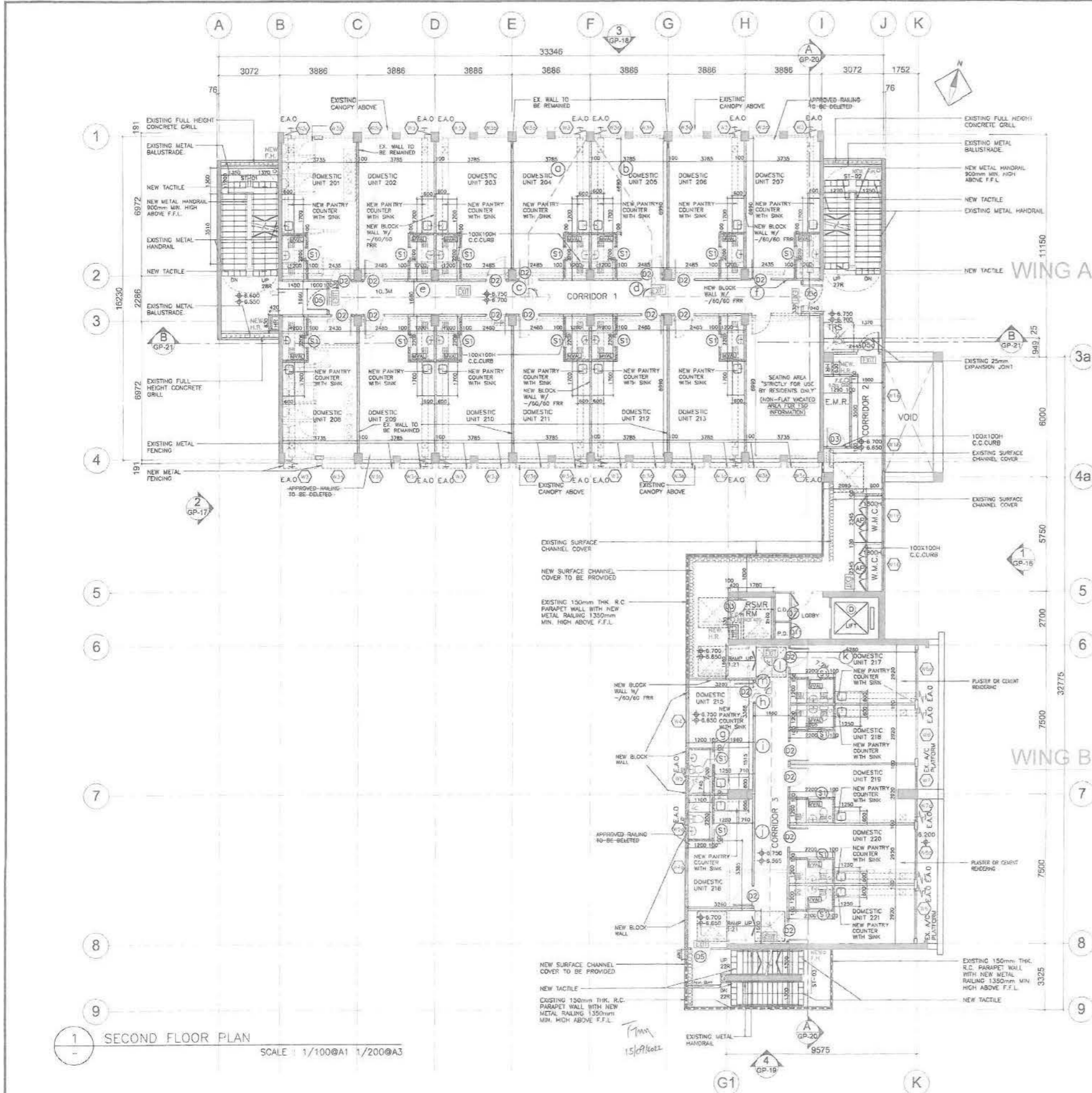
DOMESTIC UNIT 16:

DEADEND TRAVEL DISTANCE:

- (k) = 6.986 m < 24 m
- (l) = 0.811 m < 15 m

TRAVEL DISTANCE:

(l) + (m) + (i) + (j) = 18.918 m < 24 m

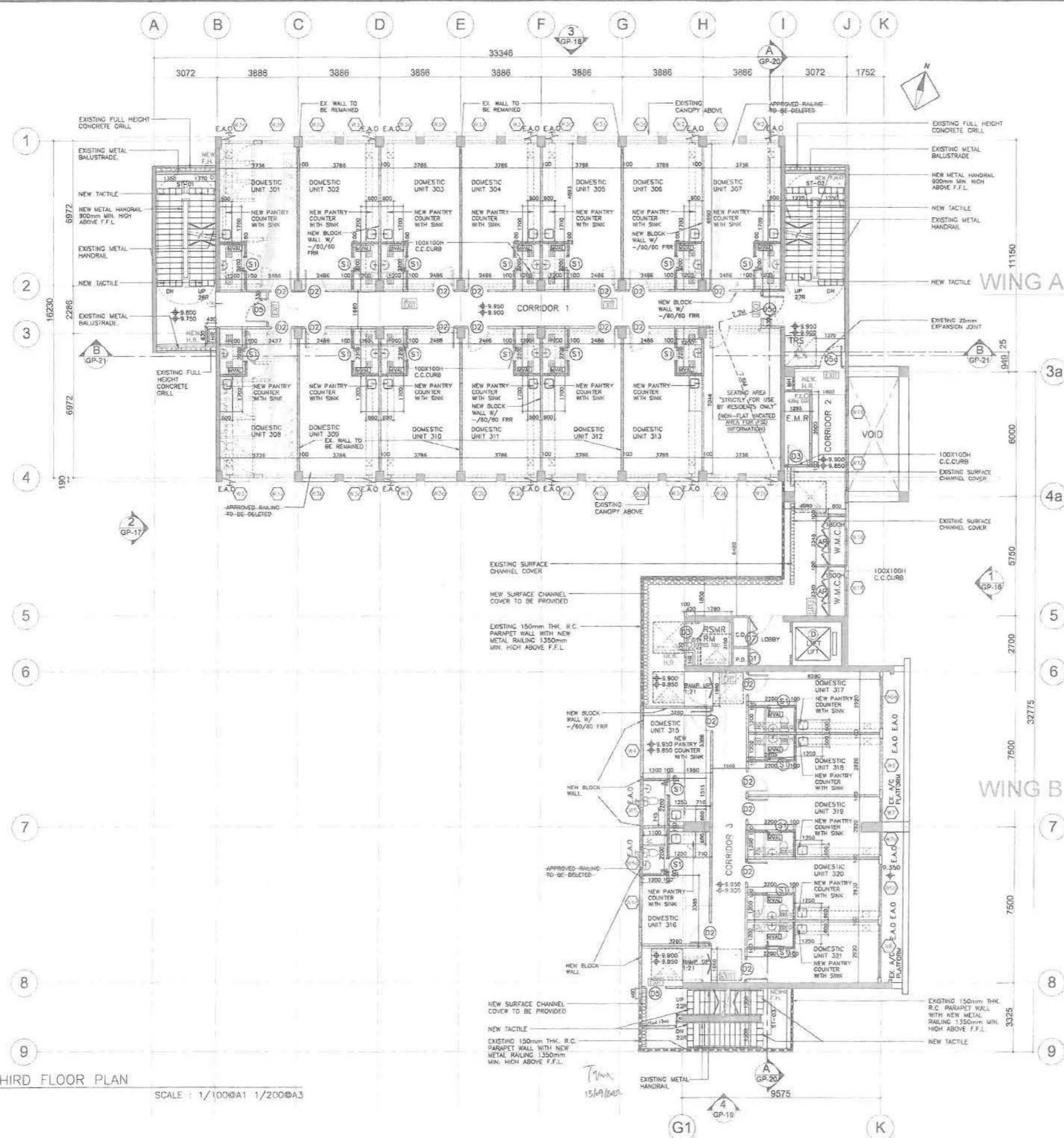


Note: This plan has been provided in a computerized check system (the computerized system is programmed in PROLOG A24-13). The duties of the authorized person, registered structural engineer and/or registered professional engineer concerned as mentioned under section 4(2)(b) and the provision of section 14(2)(c) of the Building Ordinance and of building regulations in this regard.

Plan Approved
 [Signature]
 YIP Pui-lan, Registered Structural Engineer
 for BUILDING AUTHORITY
 16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN
 AMENDMENT



1 THIRD FLOOR PLAN
SCALE: 1/100@A1 1/200@A3

ICU REF.: HD(CU)E3/103(N)AA(21)
FSD REF.: FP 8/10568 PLII

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 - This drawing is to be read in conjunction with the Architects specification & condition of contract.
 - Drawing not showing the last revisions below are to be concealed.

REMARKS:

THE WORKS SHOWN ON THESE PLANS ARE THE WORKS (BUILDING AREA) IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FACTI TRUCK CONCRETE APPLICATION UNDER REGULATION 33 OF THE BUILDING (REGISTRATION) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT

THE SALVATION ARMY

AUTHORIZED PERSON

TAM TIN CHI

BUILDING SERVICES ENGINEER

MSLAND

REGISTERED STRUCTURAL ENGINEER

ARTHUR YUNG AND ASSOCIATES COMPANY LTD.
曾守純工程師事務所

QUANTITY SURVEYOR

OnS

	NAME	SIGNED	DATE
DESIGNED	NCL		08-2021
DRAWN	KT		08-2021
CHECKED	KL		08-2021
APPROVED	NCL		08-2021

PROJECT:

BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NO YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

Note: This plan has been processed on a computer check basis under the controlling processing system as promulgated in P&AP ADM-19. The dates of the authorized person, registered structural engineer, and registered professional engineer, as applicable, are specified within Section 4(2)(b) and the provision of Section 4(2)(c) of the Buildings Ordinance are of previous editions in this regard.

Plan Approved

TAM TIN CHI
SAACCB
for BUILDING AUTHORITY
16 SEP 2022

RECORD PLAN

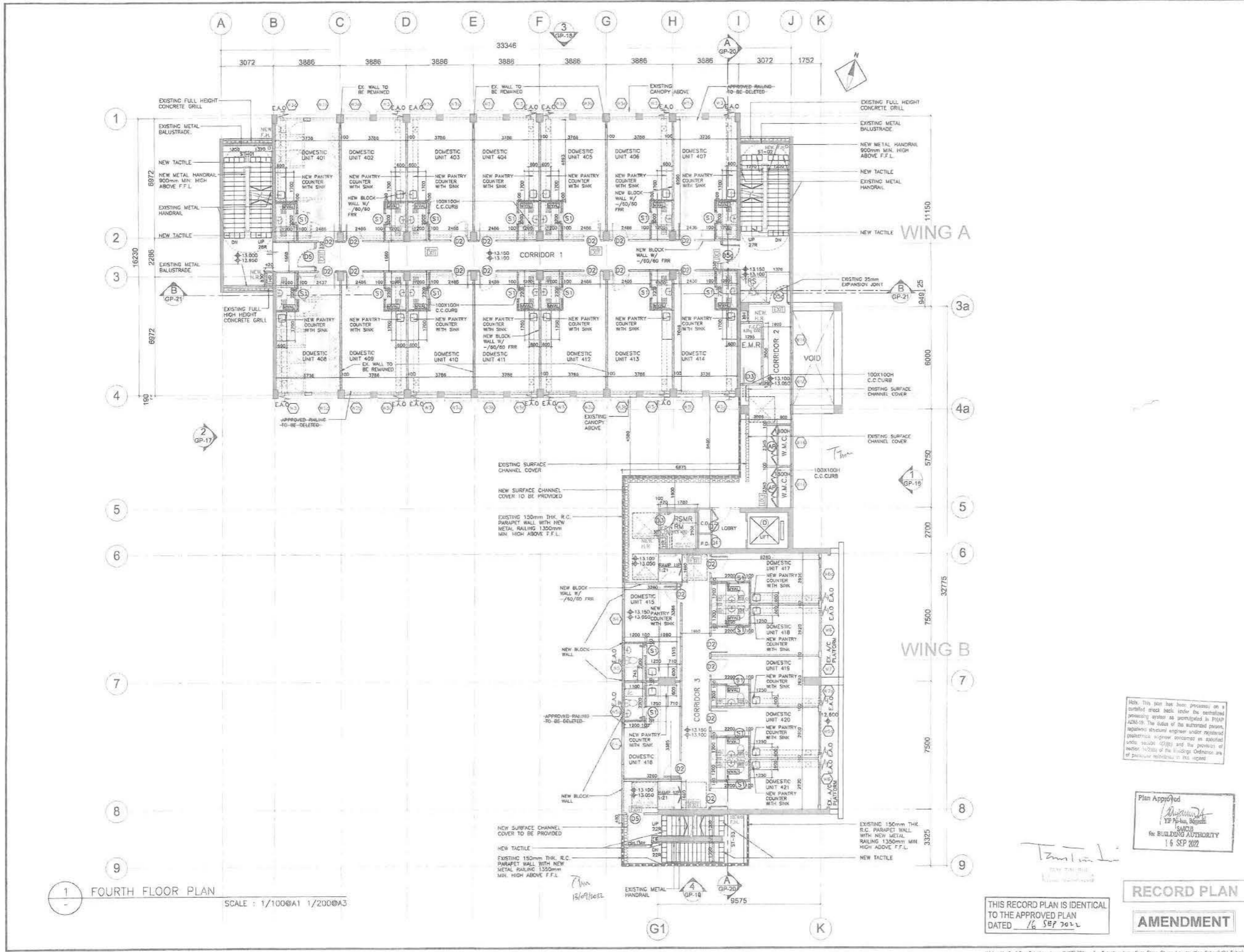
AMENDMENT

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

DRAWING TITLE:
3TH FLOOR PLAN

JOB NO.	DATE
726	08-2021

DRAWING NO.	REV.	SCALE
GP-11	C	1:100



ICU REF. : HD(CU)E3/103(N)M(21)
FSD REF. : FP 8/10568 PL11

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3. This drawing is to be read in conjunction with the Architects specification & condition of contract.
4. Drawing not showing the last revisions below are to be cancelled.

REMARKS :
THE WORKS SHOWN ON THESE PLANS ARE IN RESPECT OF WHICH CONSENT IS GRANTED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (CONSTRUCTION) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	15-2021	GBP AMENDMENT
C	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT
救世軍
The Salvation Army

AUTHORIZED PERSON
KAMYIN CONSULTANTS LIMITED
David M. Lam

BUILDING SERVICES ENGINEER
SUN AND

REGISTERED STRUCTURAL ENGINEER
ARTHUR YING AND ASSOCIATES COMPANY LTD.
容學達工程師事務所

QUANTITY SURVEYOR
InS

NAME	SIGNED	DATE
DESIGNED : KCL		08-2021
DRAWN : KT		08-2021
CHECKED : KL		08-2021
APPROVED : KCL		08-2021

PROJECT :
BUILDING (A&B) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU HO YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

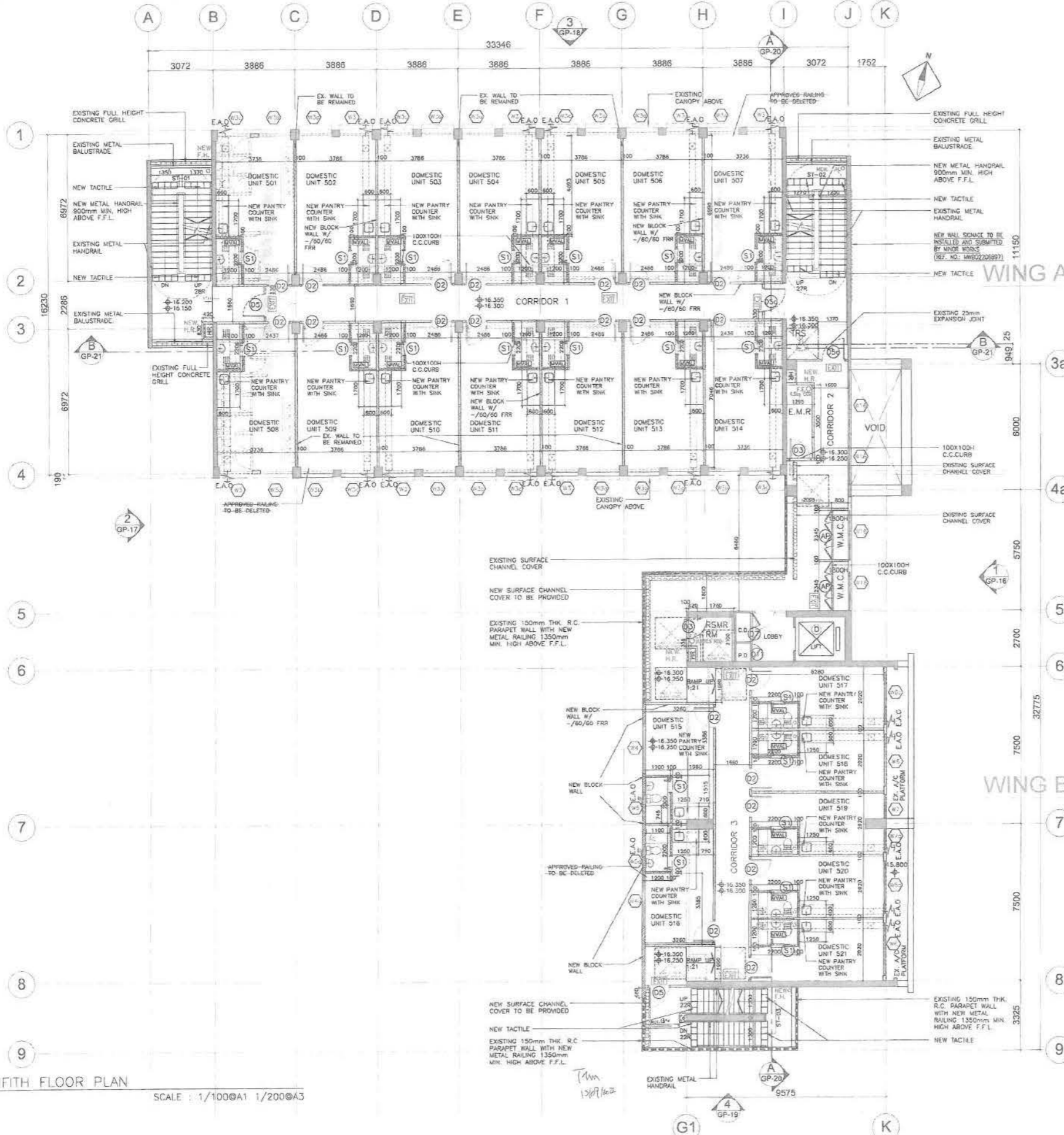
DRAWING TITLE :
4TH FLOOR PLAN

JOB NO. : 729 DATE : 08-2021
DRAWING NO. : GP-12 REV. : SCALE : 1:100

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

Plan Approved
YIP Pui-ha, Registered Structural Engineer
for BUILDING AUTHORITY
16 SEP 2022

RECORD PLAN
AMENDMENT



FIFTH FLOOR PLAN
SCALE : 1/100@A1 1/200@A3

ICU REF. : HQ(CU)E3/103(N)A4(21)
FSD REF. : FP B/10568 PLII

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 - Drawing not showing the last revisions below are to be cancelled.

REMARKS :

THE WORKS SHOWN ON THESE PLANS ARE TYPE B WORKS (BUILDING AREA) IN RESPECT OF WHICH CONSENT IS APPLICABLE FOR THE PURPOSES OF LAND TRADING CONSENT APPLICATION UNDER REGULATION 13 OF THE BUILDING (ADMINISTRATIVE) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
Q	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT

救世軍
The Salvation Army

AUTHORIZED PERSON

KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER

SARBAND

REGISTERED STRUCTURAL ENGINEER

ART-AR VINS AND ASSOCIATES COMPANY LTD.
智亨達工程建築事務所

QUANTITY SURVEYOR

OnS

DESIGNED :	NAME	SIGNED	DATE
DESIGNED :	PCL		08-2021
DRAWN :	KT		08-2021
CHECKED :	KL		08-2021
APPROVED :	NCL		08-2021

PROJECT :

BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

Note: This plan has been prepared for a partitioned brick block under the centralized processing system as promulgation in PROSP-2018-10. This system of the automated process registered structural engineer and/or registered geotechnical engineer concerned as specified under section 4(2)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.

Plan Approved

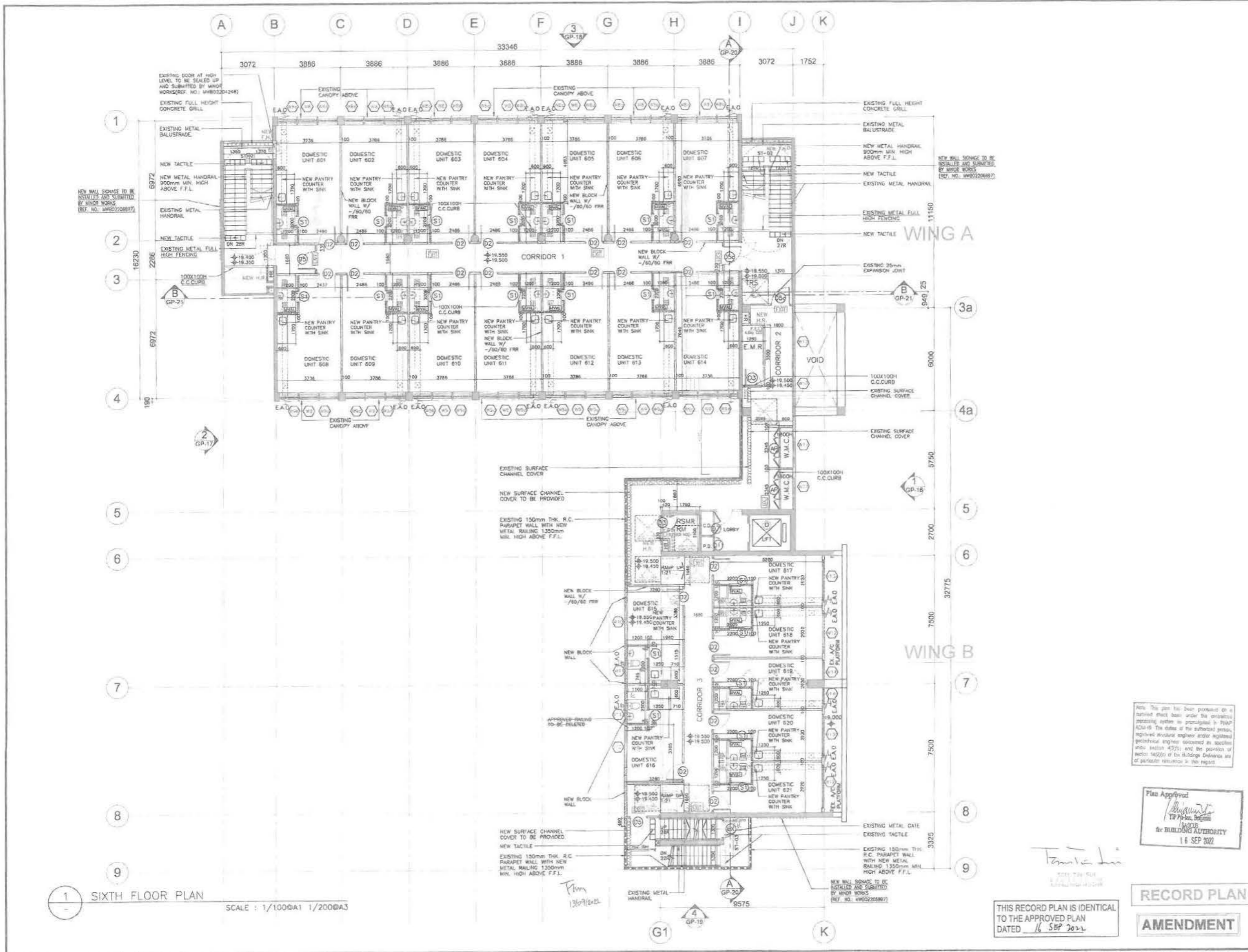
YIP Ho-sun, Chairman
SA/CIB
For BUILDING AUTHORITY
16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN

AMENDMENT

JOB NO. :	729	DATE :	08-2021
DRAWING NO. :	GP-13	REV. :	C
SCALE :		SCALE :	1:100



CU REF : HD(CU)E3/103(N)A(21)

FSD REF : TP 8/10566 PL1

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- Drawings not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
O	09-2021	GBP SUBMISSION

CLIENT

THE SALVATION ARMY

AUTHORIZED PERSON

KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER

REGISTERED STRUCTURAL ENGINEER

ARTHUR YONG AND ASSOCIATES COMPANY LIMITED

QUANTITY SURVEYOR

NAME SIGNED DATE

DESIGNED	KL	08-2021
DRAWN	KT	08-2021
CHECKED	EL	08-2021
APPROVED	KL	08-2021

PROJECT (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEH MUN, NEW TERRORIES

DRAWING TITLE - 6TH FLOOR PLAN

RECORD PLAN

AMENDMENT

JOB NO : 729 DATE : 08-2021

DRAWING NO. : REV. : SCALE :

GP-14 C 1:100

THE WORKS SHOWN ON THESE PLANS ARE THE RESULT OF A DESIGN AND CONSTRUCTION PERMIT APPLIED FOR THE PROPOSED PROJECT UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATIVE) REGULATIONS.

NOTE: This plan has been prepared on a national sheet basis under the engineering licensing system as prescribed in FRAP (2018). The duties of the authorized person, registered structural engineer and/or registered professional engineer concerned as specified under section 4(2)(b) and the provision of section 14(2)(b) of the Building Ordinance are of particular relevance in this regard.

Plan Approved

 16 SEP 2022
 for BUILDING AUTHORITY

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN
 AMENDMENT

*\Accel_Dev\The Salvation Army 828\178 - 1\Salvation Army Sam Shing Chuen Lau Ng Ying School\CU Submission\TS-6-15_Plan Final Amendment (20220814).doc

File in HD(CU)E3/103(N)A(21) - 2 pt 4

ICU REF: HD(CU)E3/103(N)AA(2.1)

FSD REF: FP 8/10568 PLII

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 - Use written dimensions or grid lines measurements in existing work to be checked on site.
 - This drawing is to be read in conjunction with the Architect's specification & condition of contract.
 - Drawing not showing the last revisions below are to be cancelled.

REMARKS:

THE WORKS SHOWN ON THESE PLANS ARE TO BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES UNDER REGULATION 33 OF THE BUILDING (GENERAL) REGULATIONS.

NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	GBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT



AUTHORIZED PERSON



BUILDING SERVICES ENGINEER



REGISTERED STRUCTURAL ENGINEER



QUANTITY SURVEYOR



	NAME	SIGNED	DATE
DESIGNED :	KEL		08-2021
DRAWN :	KT		08-2021
CHECKED :	KL		08-2021
APPROVED :	KEL		08-2021

PROJECT
BUILDING (A&A) WORKS
FOR
CONVERSION OF EX-SALVATION ARMY
SAM SHING CHUEN LAU NG YING SCHOOL
TO TRANSITIONAL HOUSING
AT SAM SHING ESTATE, TUN MUN,
NEW TERRITORIES

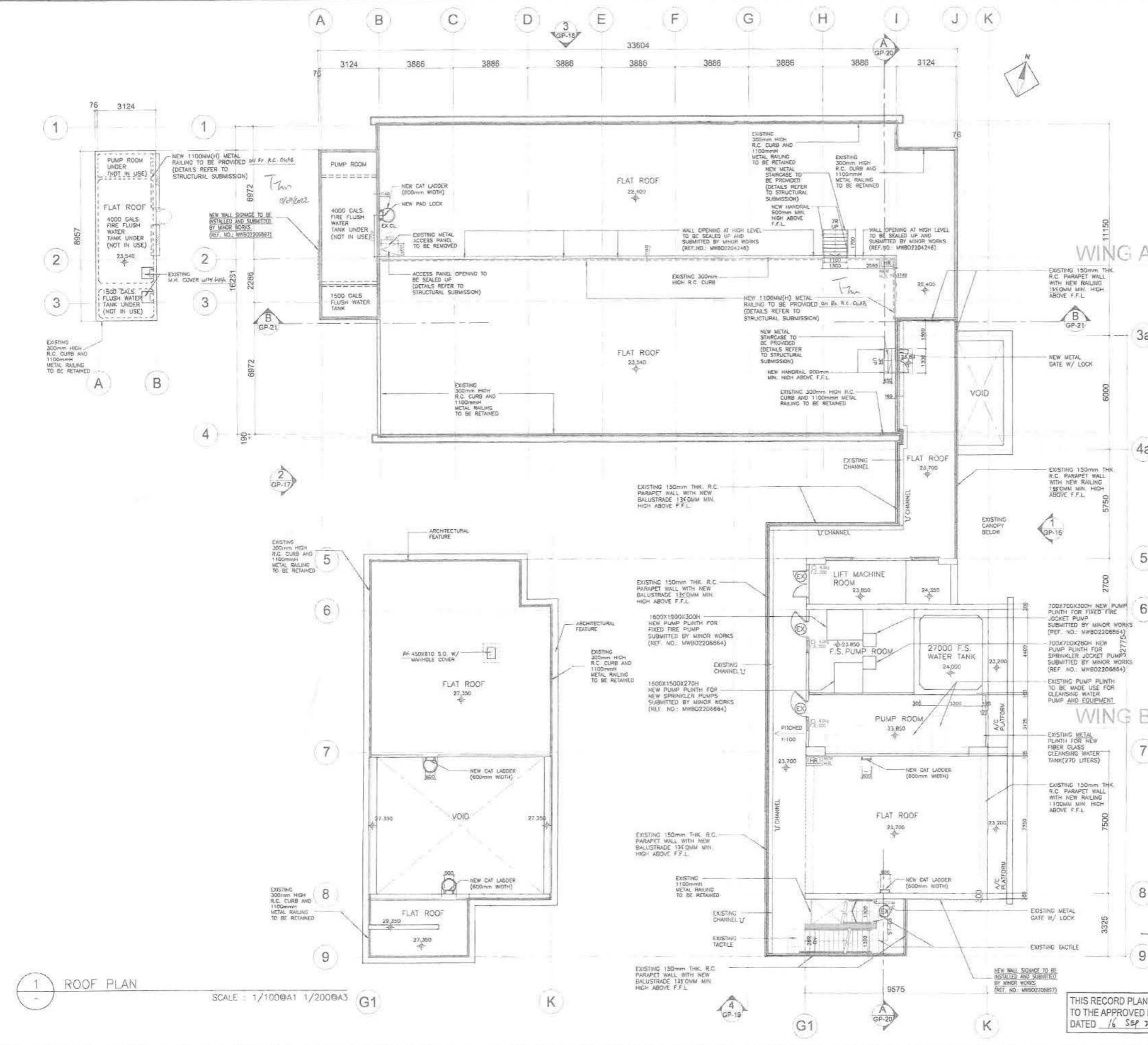
Plan Approved

KAM YIN LIN
PRACTISING ENGINEER
for BUILDING AUTHORITY
16 SEP 2022

DRAWING TITLE: ROOF FLOOR PLAN

JOB NO.	DATE
729	08-2021

DRAWING NO.	REV.	SCALE
GP-15	D	1:100



Note: This plan has been processed on a computerized system as promulgated in PWD ADM 10. The duties of the authorized person, registered structural engineer and/or registered professional engineer concerned as specified under section 43(1b) and the provision of section 44(2)(c) of the Building Ordinance are of particular relevance in this regard.

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 Sep 2022

RECORD PLAN
AMENDMENT

1 ROOF PLAN
SCALE: 1/100@A1 1/200@A3

ICU REF. : HD(CU)E3/103(MA(21)

FSD REF. : FP 8/10568 PL1

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 - Drawing not showing the last revisions below are to be cancelled.

REMARKS :



NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	GBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
O	09-2021	GBP SUBMISSION

REVISIONS:

CLIENT:



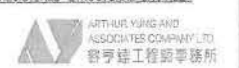
AUTHORIZED PERSON:



BUILDING SERVICES ENGINEER:



REGISTERED STRUCTURAL ENGINEER:



QUANTITY SURVEYOR:



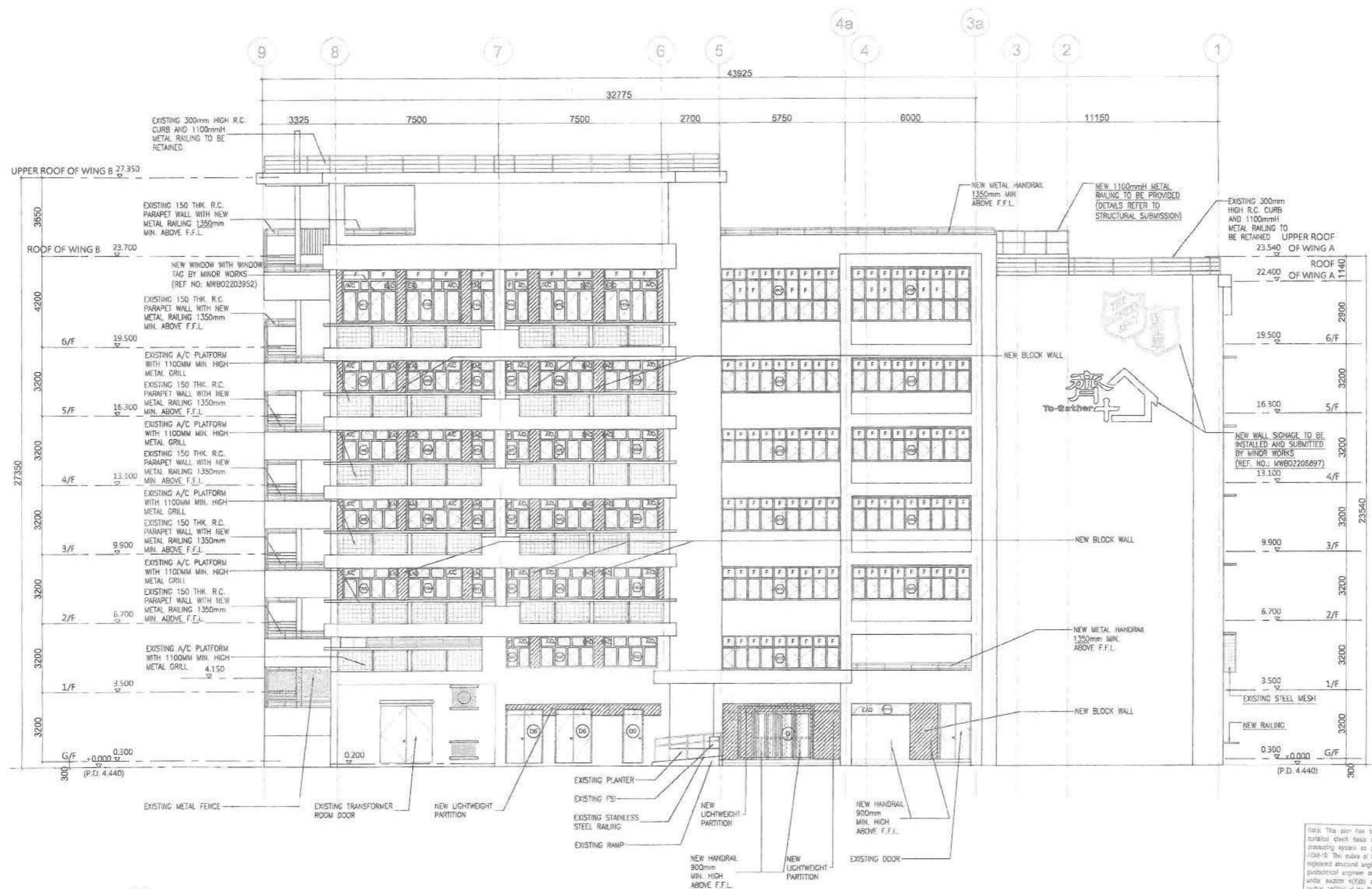
	NAME	SIGNED	DATE
DESIGNED :	KCL		08-2021
DRAWN :	KT		08-2021
CHECKED :	KL		08-2021
APPROVED :	KCL		08-2021

PROJECT :
BUILDING (A&A) WORKS
FOR
CONVERSION OF EX-SALVATION ARMY
SAM SHING CHUEN LAU NG YING SCHOOL
TO TRANSITIONAL HOUSING
AT SAM SHING ESTATE, TUN MUN,
NEW TERRITORIES

DRAWING TITLE :

ELEVATION 1

JOB NO. :	DATE :
725	08-2021
DRAWING NO. :	REV. :
GP-16	D
SCALE :	1:100



1 ELEVATION 1
SCALE : 1/100@A1

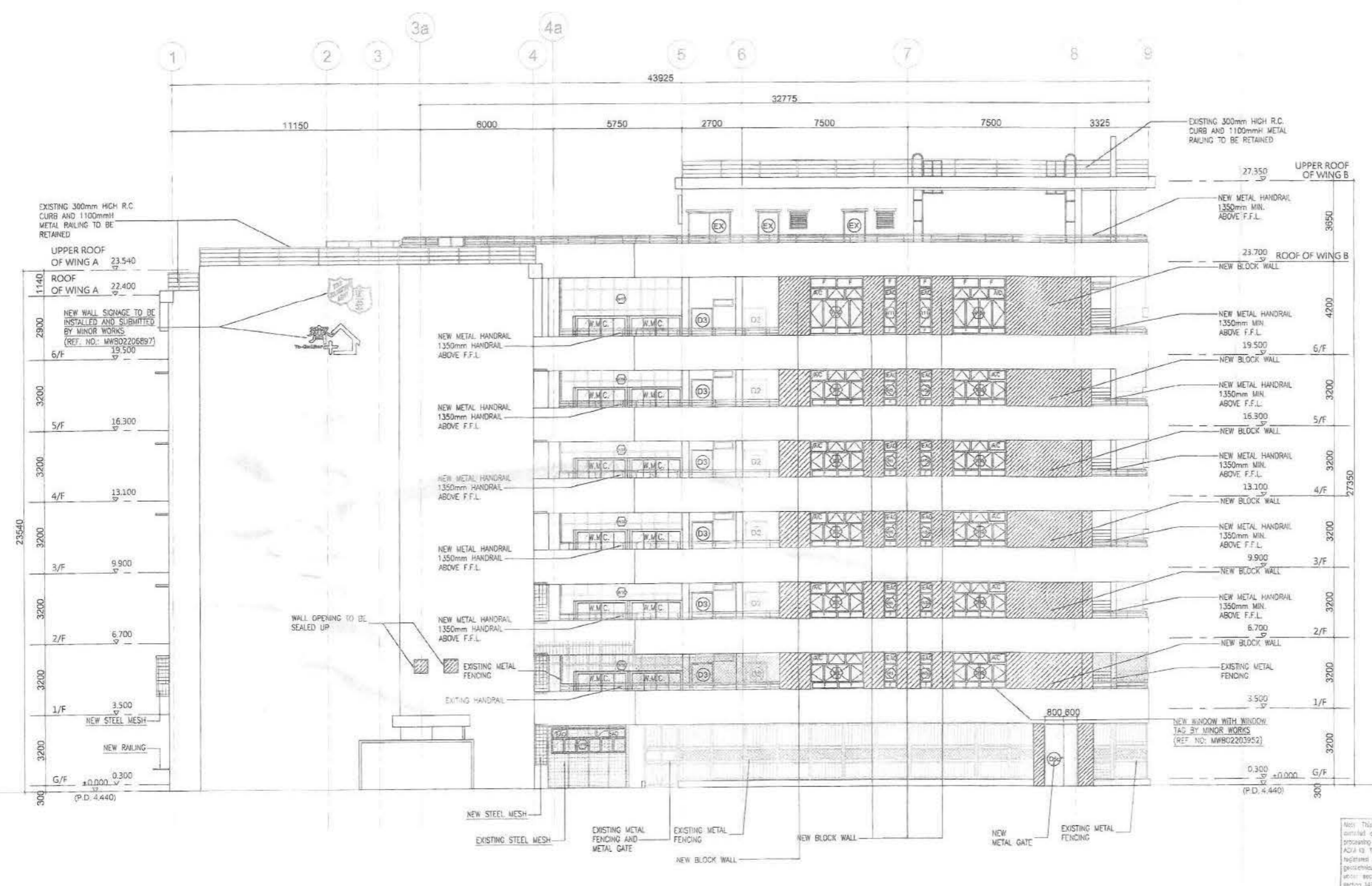
This plan has been prepared in a certified office under the regulated monitoring system as prescribed in FWP/10M-12. The office of the authorized person, registered structural engineer and/or registered architectural engineer mentioned as specified under section 4(3)(b) and the provision of section 4(2)(a) of the Building Ordinance are of particular relevance in this regard.

Plan Approved
TAM TIN SUI
REGISTERED STRUCTURAL ENGINEER
FOR BUILDING AUTHORITY
16 SEP 2022

RECORD PLAN

AMENDMENT

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022



2 ELEVATION 2
SCALE: 1/100@A1

ICU REF. : HD(CU)E3/103(HA)21
 FSD REF. : FP 8/10588 PLII

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 3. This drawing is to be read in conjunction with the Architect's specification & condition of contract.
 4. Drawing not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	GBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
O	09-2021	GBP SUBMISSION

CLIENT:
 救世軍 The Salvation Army

AUTHORIZED PERSON:
 KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER:
 SIRLAND

REGISTERED STRUCTURAL ENGINEER:
 ARTHUR YUNG AND ASSOCIATES COMPANY LTD. 翁宇雄工程師事務所

QUANTITY SURVEYOR:
 InS

DESIGNED	NAME	SIGNED	DATE
✓	NGL		08-2021
✓	KT		08-2021
✓	NGL		08-2021
✓	NGL		08-2021

PROJECT:
 BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NO YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

DRAWING TITLE:
 ELEVATION 2

JOB NO. : 728 DATE : 08-2021
 DRAWING NO. : REV. : SCALE :
 GP-17 1:100

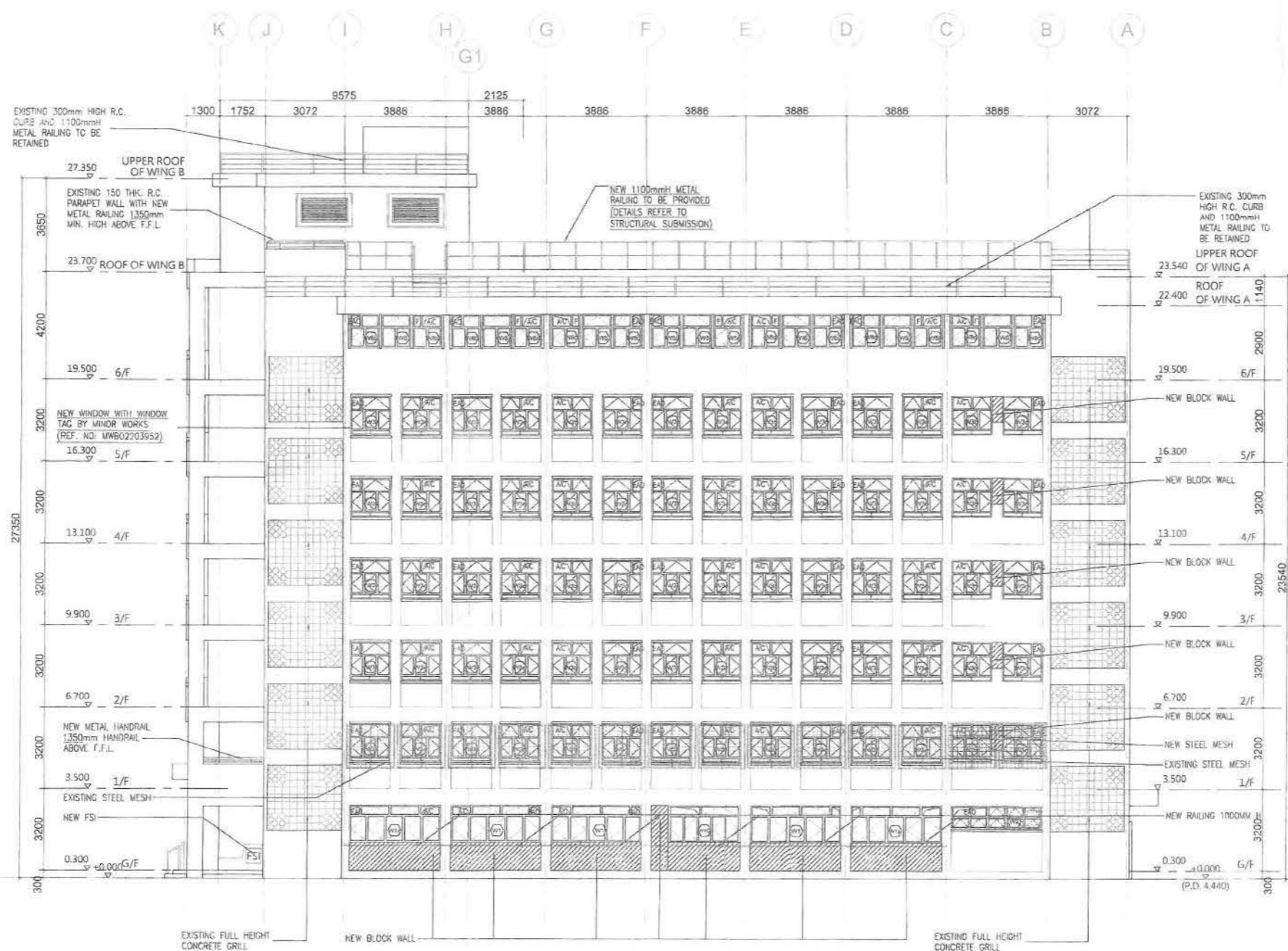
Note: This plan has been produced on a computerized system under the computerized processing system as approved by PAWP AD 113. This system of the authorized person, registered structural engineer and/or registered geotechnical engineer concerned is notified under section 4(1)(a) and the provision of section 4(1)(b) of the Building Ordinance and of particular reference in the 4(1)(a).

Plan Approved

 YIP HO-yan
 16 SEP 2022
 For BUILDING AUTHORITY

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2021

RECORD PLAN
 AMENDMENT



3 ELEVATION 3
SCALE: 1/100@A1

Plan Approved
[Signature]
for BUILDING AUTHORITY
16 SEP 2022

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022

RECORD PLAN
AMENDMENT

ICU REF.: HD(ICU)E3/103(N)AM(21)
FSD REF.: FP 8/10568 PLII

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 - Drawing not showing the last revisions below are to be cancelled.

REVISIONS:

NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	GBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
O	09-2021	GBP SUBMISSION

CLIENT

THE SALVATION ARMY

AUTHORIZED PERSON

KAMYIN CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER

NPL AND PARTNERS

REGISTERED STRUCTURAL ENGINEER

ARTHUR YUNG AND ASSOCIATES COMPANY LTD.
翁宇鏗工程師事務所

QUANTITY SURVEYOR

InS

NAME	SIGNED	DATE
DESIGNED :	KGL	08-2021
DRAWN :	KT	08-2021
CHECKED :	KL	08-2021
APPROVED :	KGL	08-2021

PROJECT : BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUEN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUH, NEW TERRITORIES

DRAWING TITLE : ELEVATION 3

JOB NO. :	DATE :
726	08-2021

DRAWING NO. :	REV. :	SCALE :
CP-18	D	1:100

ICU REF. : HD(CU)E3/103(N)AA(21)
 FSD REF. : FP 8/10568 PLII

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 4. Drawing not showing the last revisions below are to be cancelled.

REVISIONS:


NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	CBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
0	09-2021	GBP SUBMISSION

REVISIONS:

NO.	DATE	DESCRIPTIONS
D	08-2022	GBP AMENDMENT
C	07-2022	CBP AMENDMENT
B	04-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
0	09-2021	GBP SUBMISSION

CLIENT

 救世軍
 The Salvation Army

AUTHORIZED PERSON

 KAMYIN
 CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER

 SUI LUNG

REGISTERED STRUCTURAL ENGINEER

 ARTHUR YUNG AND ASSOCIATES COMPANY LTD
 香港獨立工程師事務所

QUANTITY SURVEYOR

 QNS

	NAME	SIGNED	DATE
DESIGNED	KCL		08-2021
DRAWN	KT		08-2021
CHECKED	KL		08-2021
APPROVED	KCL		08-2021

PROJECT :
 BUILDING (A&A) WORKS
 FOR
 CONVERSION OF EX-SALVATION ARMY
 SAM SHING CHUN LAM HO YING SCHOOL
 TO TRANSITIONAL HOUSING
 AT SAM SHING ESTATE, TIEN MUN,
 NEW TERRITORIES

Plan Approved

 for BUILDING AUTHORITY
 16 SEP 2022

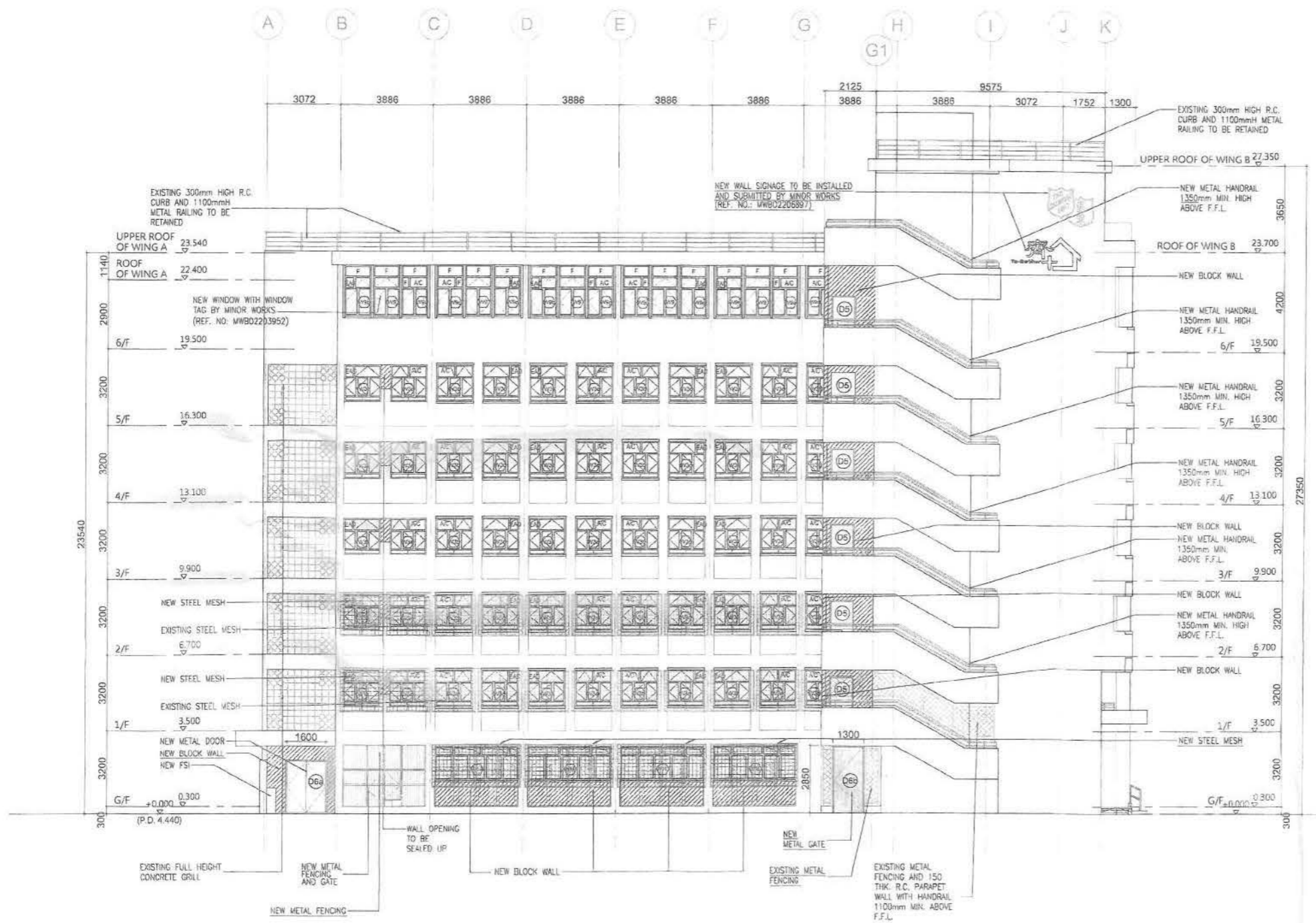
DRAWING TITLE :
 ELEVATION 4

RECORD PLAN
 AMENDMENT

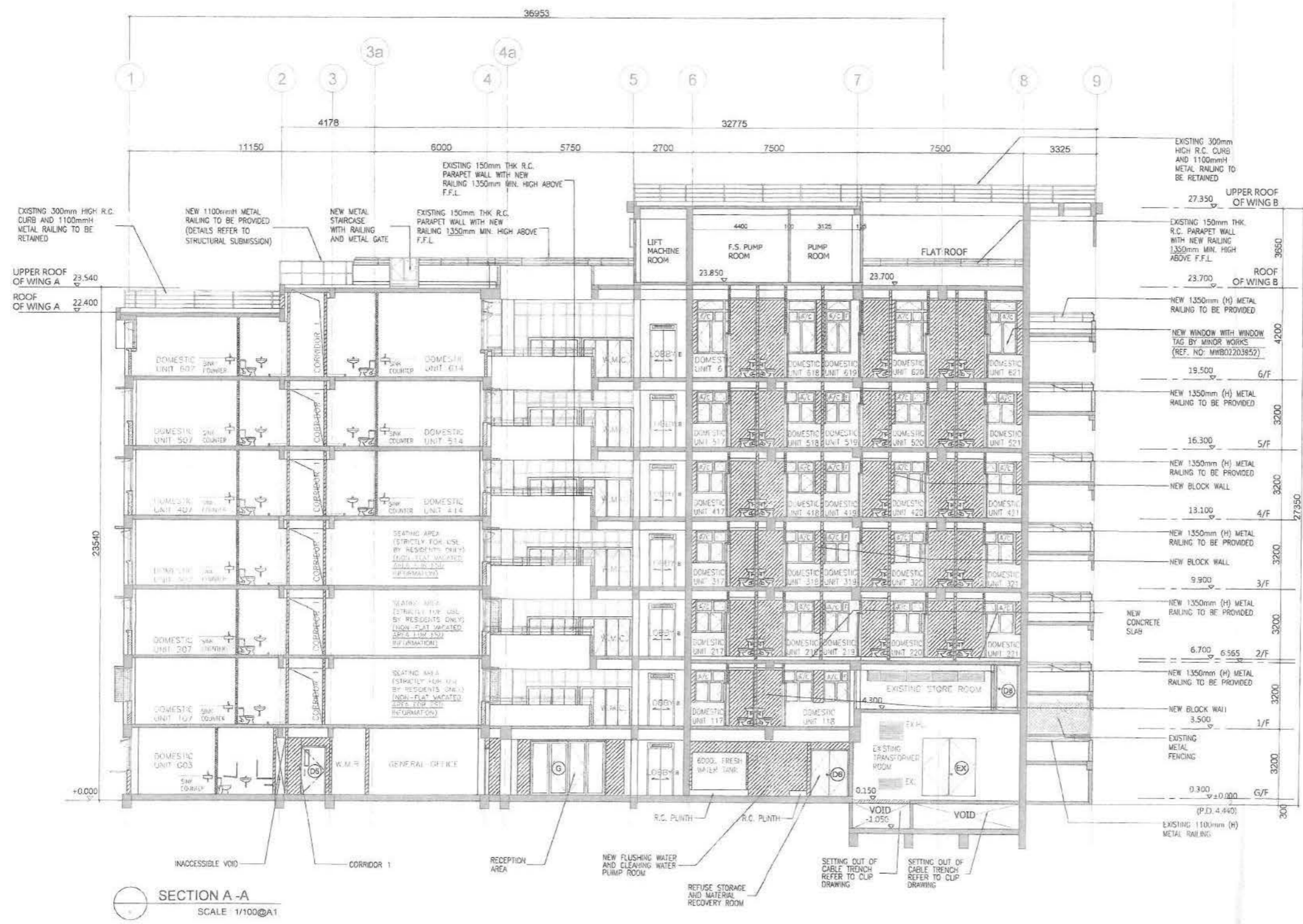
THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2021

JOB NO.	DATE
729	08-2021

DRAWING NO.	REV.	SCALE
GP-19	D	1:100



4 ELEVATION 4
 SCALE : 1/100@A1



SECTION A-A
SCALE 1/100@A1

ICU REF. : HD(ICU)E3/103(N)AA(21)

FSD REF. : FP 8/10568 PLII

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 - The drawing is to be read in conjunction with the Architects specification & condition of contract.
 - Drawing not showing the last revisions below are to be cancelled.

REMARKS :

THE WORKS SHOWN ON THESE PLANS ARE TYPE B WORKS (BUILDING A&A) IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 23 OF THE BUILDING (CONSTRUCTION) REGULATIONS.

NO.	DATE	DESCRIPTION
C	08-2022	GRP AMENDMENT
B	07-2022	GRP AMENDMENT
A	12-2021	GRP AMENDMENT
O	09-2021	GRP SUBMISSION

REVISIONS:

CLIENT

THE SALVATION ARMY

AUTHORIZED PERSON

KAMYIN
CONSULTANTS LIMITED

BUILDING SERVICES ENGINEER

SUNLAND

REGISTERED STRUCTURAL ENGINEER

ARTHUR YUNS AND ASSOCIATES COMPANY LTD.
容宇建築工程師事務所

QUANTITY SURVEYOR

NS

DESIGNED	NAME	SIGNED	DATE
DESIGNED :	KCL		08-2021
DRAWN :	XT		08-2021
CHECKED :	KL		08-2021
APPROVED :	KCL		08-2021

PROJECT :

BUILDING (A&A) WORKS FOR CONVERSION OF EX-SALVATION ARMY SAM SHING CHUN LAU NG YING SCHOOL TO TRANSITIONAL HOUSING AT SAM SHING ESTATE, TUEN MUN, NEW TERRITORIES

DRAWING TITLE :

SECTION A-A

JOB NO. :	DATE :	
729	08-2021	
DRAWING NO. :	REV. :	SCALE :
GP-20	C	1:100

Note: This plan has been processed as a 'fast track' basis under the centralized processing system as promulgated in PIMP ADM-10. The status of the authorized person, registered structural engineer, and/or registered professional engineer concerned as specified under section 40(3)(a) and the provision of section 14(2)(a) of the Building Ordinance are of particular relevance to this report.

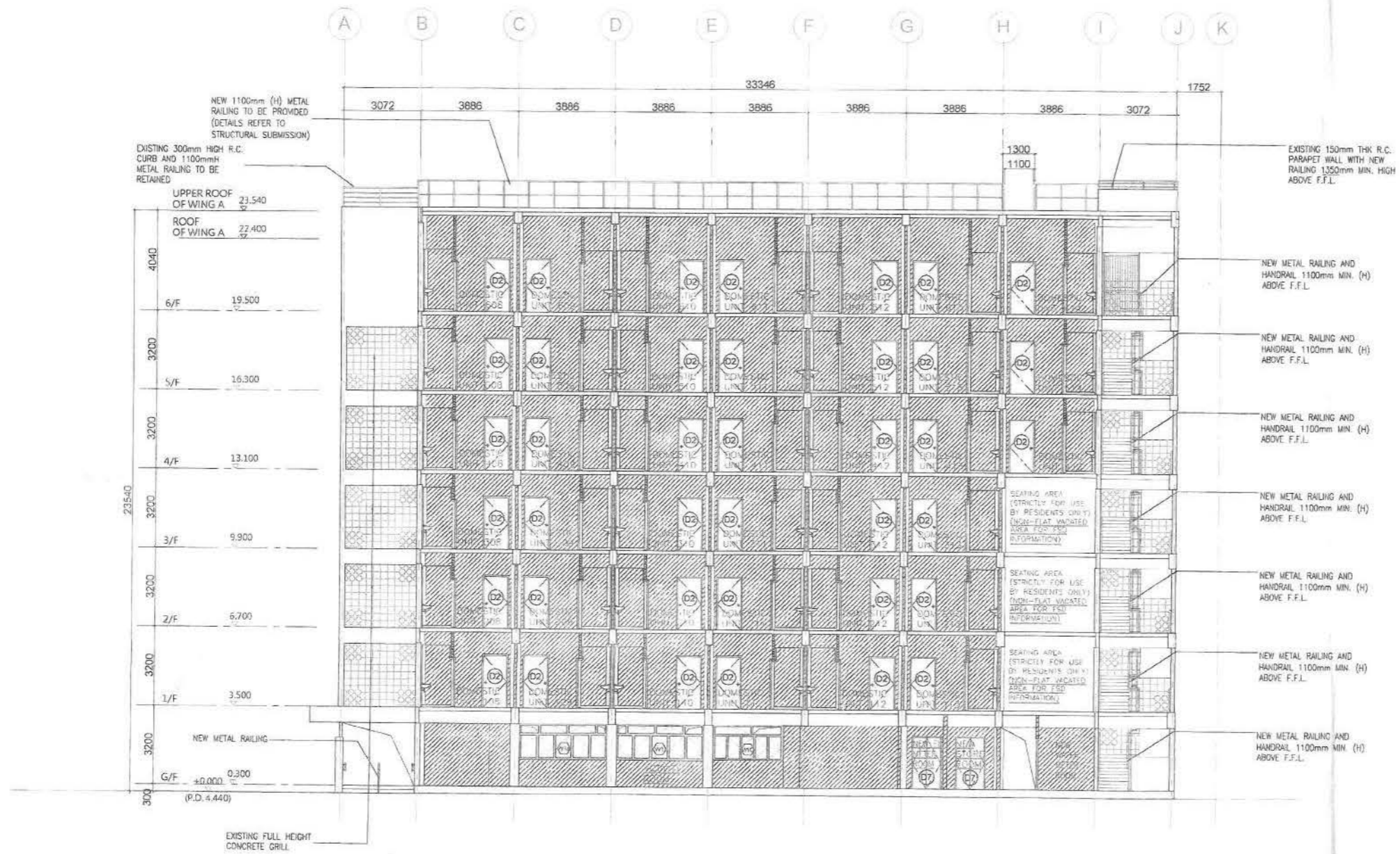
Plan Approved

SA/CD
for BUILDING AUTHORITY
16 SEP 2022

RECORD PLAN

AMENDMENT

THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 SEP 2022



SECTION B-B
SCALE: 1/100@A1

KCU REF.: HD(CU)3/103(N)M(21)
FSD REF.: FP 8/1056B PLII

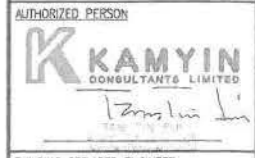
- NOTES
- The drawing & design are copyright and no portion may be reproduced without the written permission of the Architect.
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 - Drawing not showing the last revisions below are to be cancelled.

REMARKS:

THE WORKS SHOWN IN THESE PLANS ARE THOSE WORKS (BUILDING WORK) IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATIVE) REGULATIONS.

NO.	DATE	DESCRIPTIONS
C	08-2022	GBP AMENDMENT
B	07-2022	GBP AMENDMENT
A	12-2021	GBP AMENDMENT
D	09-2021	GBP SUBMISSION

REVISIONS:



	NAME	SIGNED	DATE
DESIGNED	KCL		08-2021
DRAWN	KT		08-2021
CHECKED	KL		08-2021
APPROVED	KCL		08-2021

PROJECT:
BUILDING (A&A) WORKS FOR
CONVERSION OF EX-SALVATION ARMY
SAM SHING CHUN LAU NG YING SCHOOL
TO TRANSITIONAL HOUSING
AT SAM SHING ESTATE, TUEN MUN,
NEW TERRITORIES

DRAWING TITLE:
SECTION B-B

JOB NO.:	DATE:
728	08-2021

DRAWING NO.:	REV.:	SCALE:
GP-21	C	1:100

Note: This plan has been produced on a building work basis under the automated processing system as prescribed in FIDAP A2(4)(1). The Author of this submitted person, registered structural engineer and/or registered professional engineer concerned in specifying under section 4(2)(b) and the provision of section 14(2)(c) of the Buildings Ordinance are of particular relevance in this regard.



THIS RECORD PLAN IS IDENTICAL TO THE APPROVED PLAN DATED 16 Sep 2021

RECORD PLAN
AMENDMENT