

## Annual Inspection Report

<b>Address</b>	Transitional Housing at (Ex. Tsuen Wan Lutheran School) : Cheung Shan Estate, Tsuen Wan, N.T. (V.O. No.68)
<b>Name of tenant of the Premises</b>	: The Lok Sin Tong Benevolent Society, Kowloon
<b>Ref. No./MW submission no.</b>	: HD (ICU) E3/006(N) AA (10)TH
<b>Permit No(s).</b>	: HDP 067/2021, HDP 068/2021, HDP 069/2021, HDP 070/2021, HDP 071/2021
<b>Date of Inspection</b>	: 7/3/2023 HDP 072/2021 HDP 073/2021

I hereby expressly warrant and declare that the above premises (including all cubicles) has been inspected by me and I confirm the following ( circle the appropriate\*):

- (a) There is no change in use in the above premises.  Y / N / N.A.
- (b) The artificial lighting provided for the above premises is in working order.  Y / N / N.A.
- (c) The mechanical ventilation systems provided for the above premises are in working order.  Y / N / N.A.
- (d) The permanent vents provided for the above premises are intact.  Y / N / N.A.
- (e) There is no alteration and addition to the layout of the above premises.  Y / N / N.A.
- (f) There are no facilities installed in the bedrooms/pantry/premises for cooking with naked flame.  Y / N / N.A.
- (g) All the conditions imposed in the above Permit for the above premises are complied with.  Y / N / N.A.

\* "Y" denotes Yes "N" denotes No; and "N.A." denotes Not Applicable

A copy of the above Permit and the layout plan as well as the photographic record of my inspection is enclosed with this Inspection Report.

## Irregularities found during inspection (if any)

NIL
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I hereby expressly warrant and declare that the above information provided is correct and genuine.

I further expressly acknowledge that the personal data provided by me in this Form may be used by the Independent Checking Unit in connection with the processing of this Inspection Report.

I understand that if I do not provide sufficient information, the Independent Checking Unit may request me for further information.

I hereby authorise the Independent Checking Unit to disclose my personal data in this Inspection Report to such government departments as it may see fit for the processing of this Inspection Report.

I further authorise and direct and request any government department which may be approached by the Independent Checking Unit to supply any and all information which it may require in relation to this Inspection Report.

#### Particulars of Authorized Person

Name in Chinese

Name in English

Certificate of Registration Number#


Date of Expiry of Registration# 

1	1	1	0	2	0	2	5
dd		mm		yyyy			

Contact Tel. No.

Fax No.

#### Signature of Authorized Person#





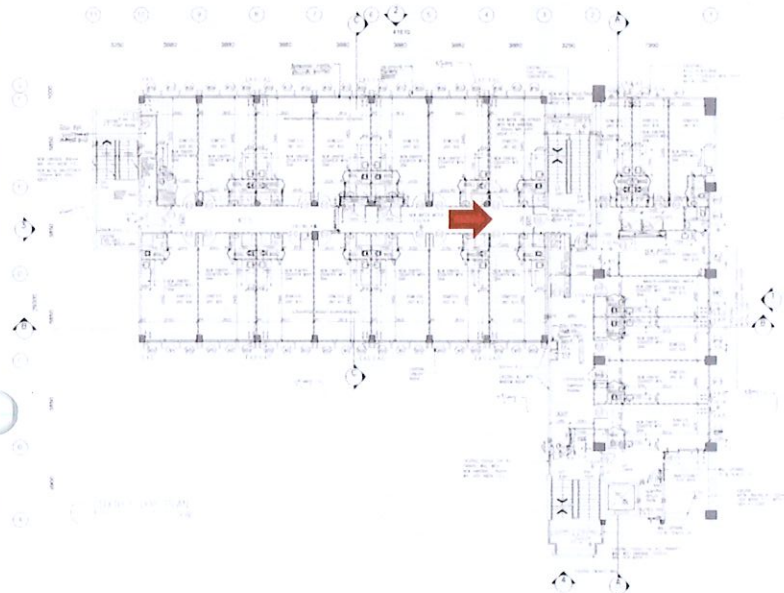

Any false certification or declaration may be subject to legal action.

Date 

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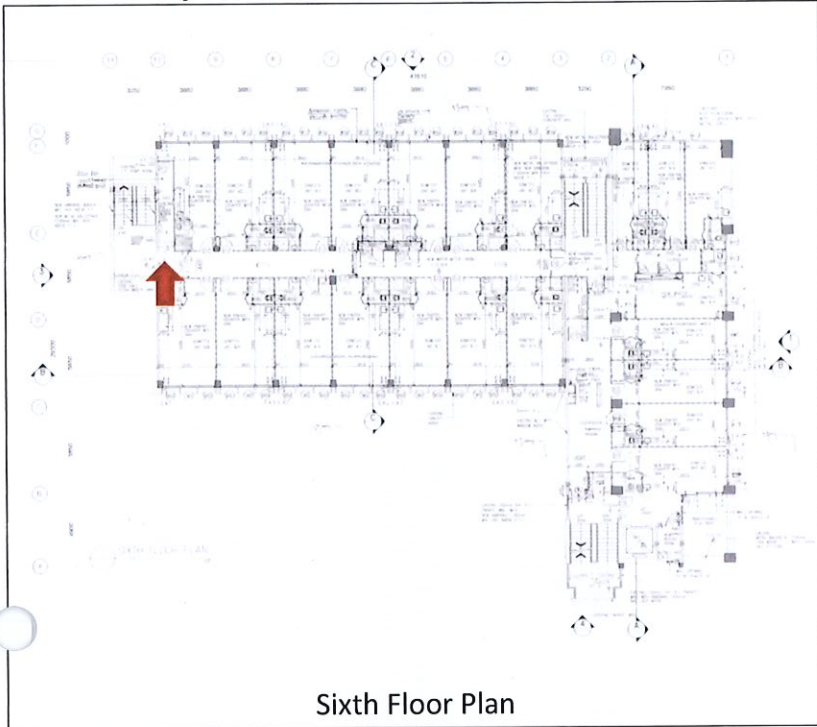
# according to registration record

# Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School) Annual Inspection

Location	Photo
 <p data-bbox="368 920 608 954">Ground Floor Plan</p> <p>The ground floor plan shows a large rectangular building layout with a red arrow pointing to a specific area on the right side of the plan.</p>	 <p>A photograph showing the exterior of a multi-story residential building with a green facade and colorful window frames. A blue basketball court is visible in the foreground.</p>
 <p data-bbox="384 1659 592 1693">Sixth Floor Plan</p> <p>The sixth floor plan shows a similar layout to the ground floor, with a red arrow pointing to a specific area in the center of the plan.</p>	 <p>A photograph of an interior hallway with a patterned carpet, red doors, and a green door at the end. A blue exit sign is visible above the green door.</p>



**Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School)  
Annual Inspection**



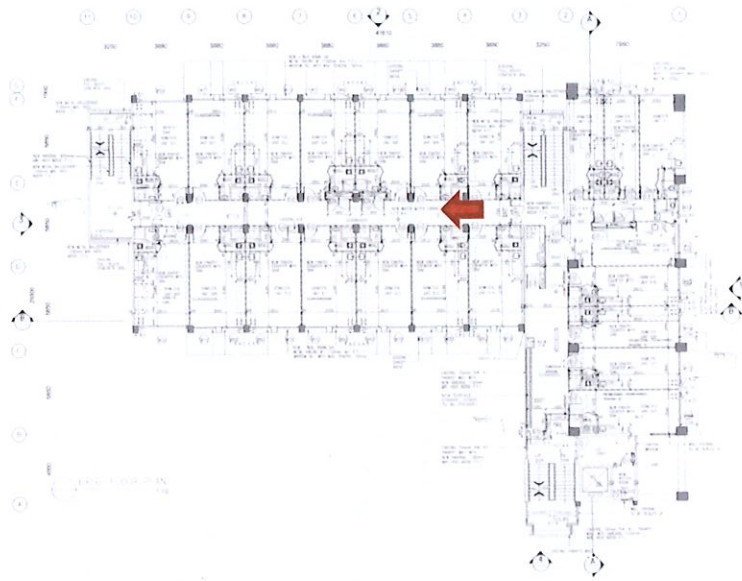
Sixth Floor Plan



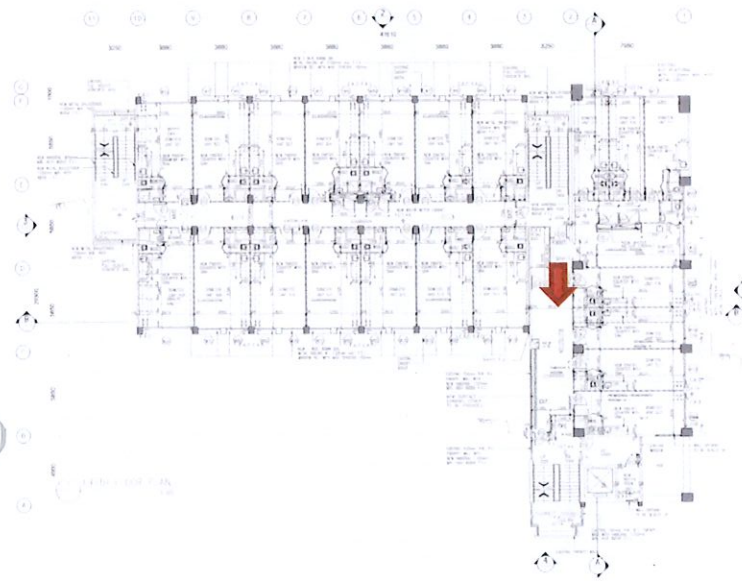
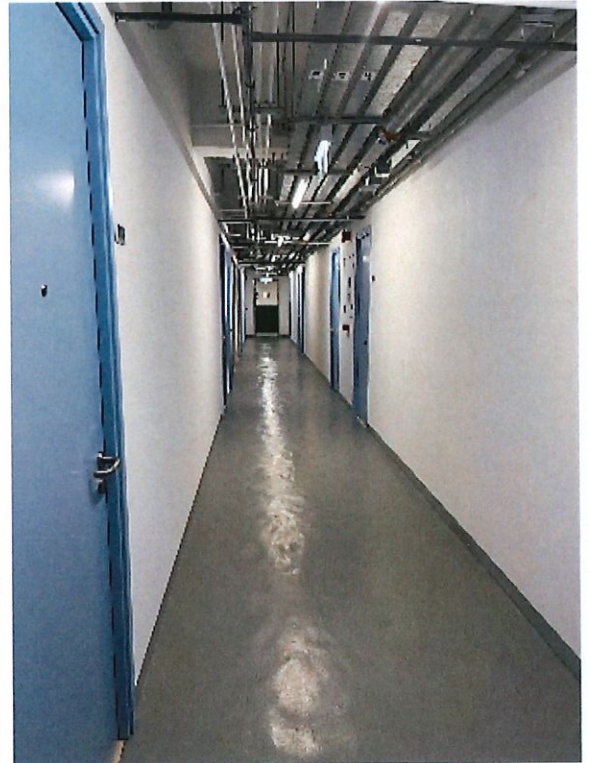
Sixth Floor Plan



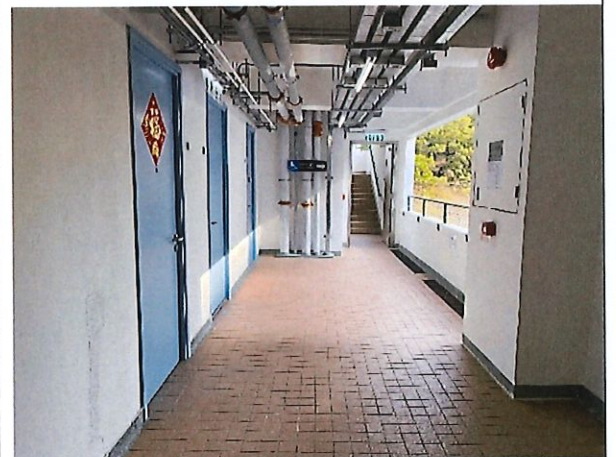
**Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School)**  
**Annual Inspection**



Fifth Floor Plan

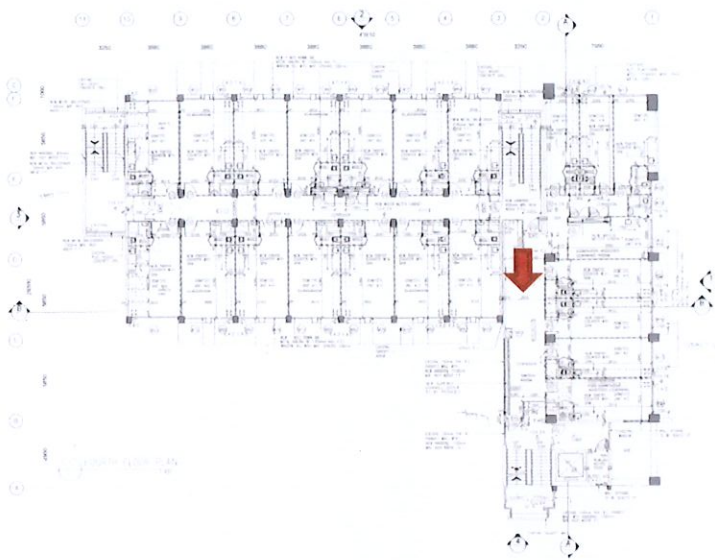


Fifth Floor Plan

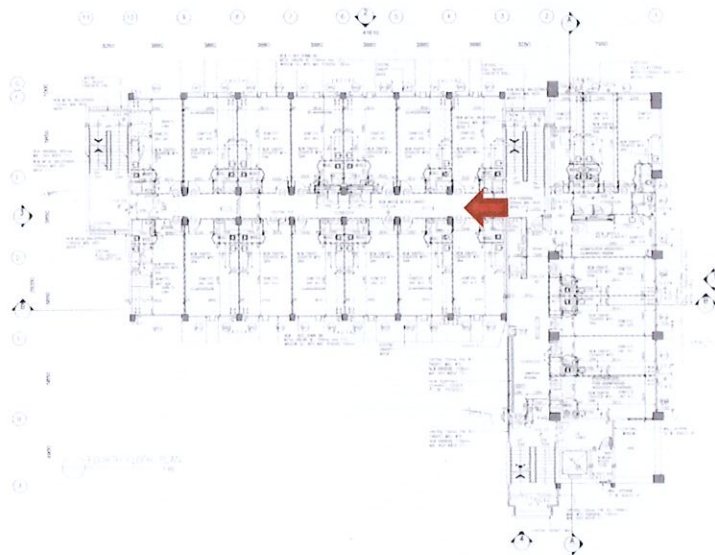




# Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School) Annual Inspection



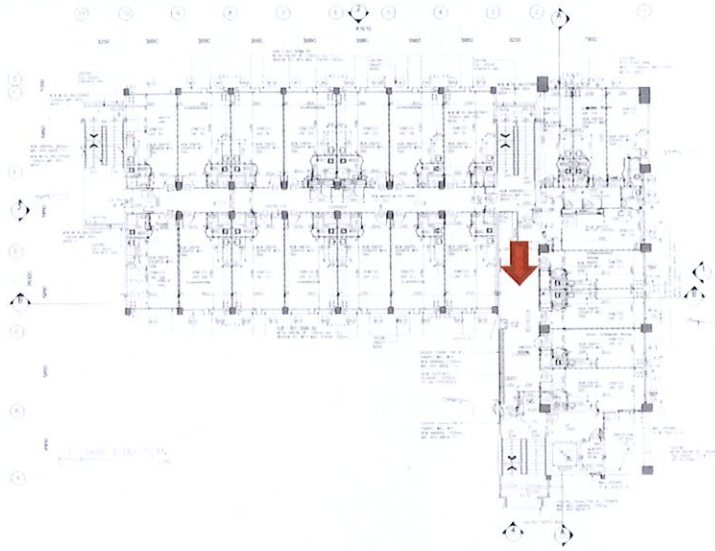
Fourth Floor Plan



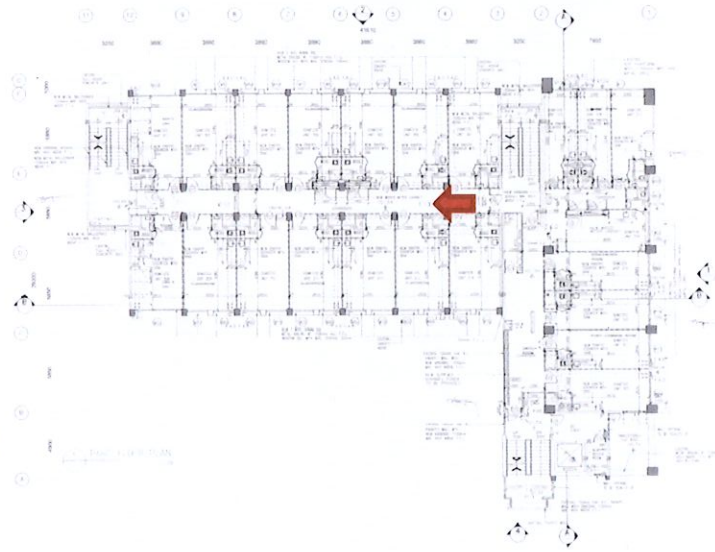
Fourth Floor Plan



**Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School)  
Annual Inspection**



Third Floor Plan

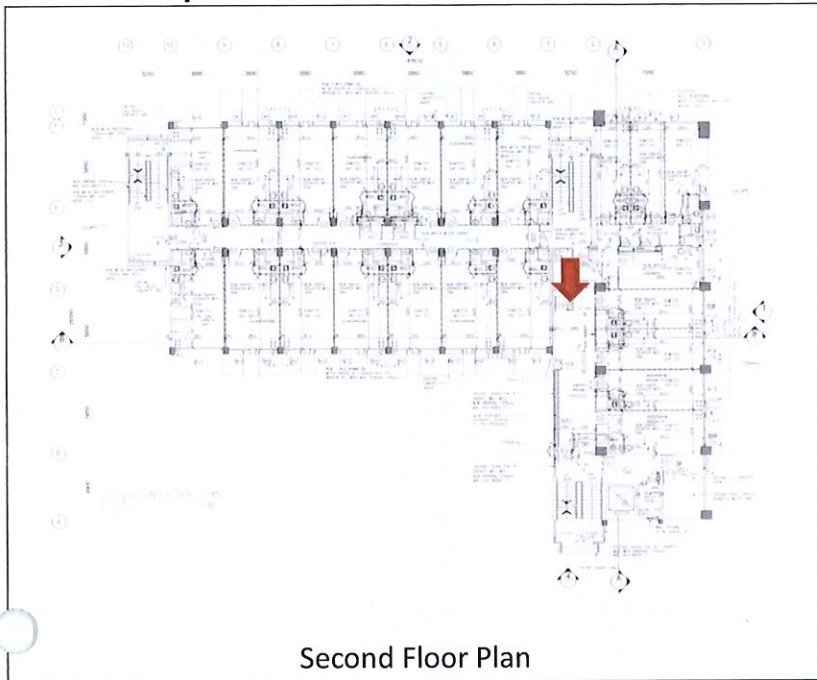


Third Floor Plan

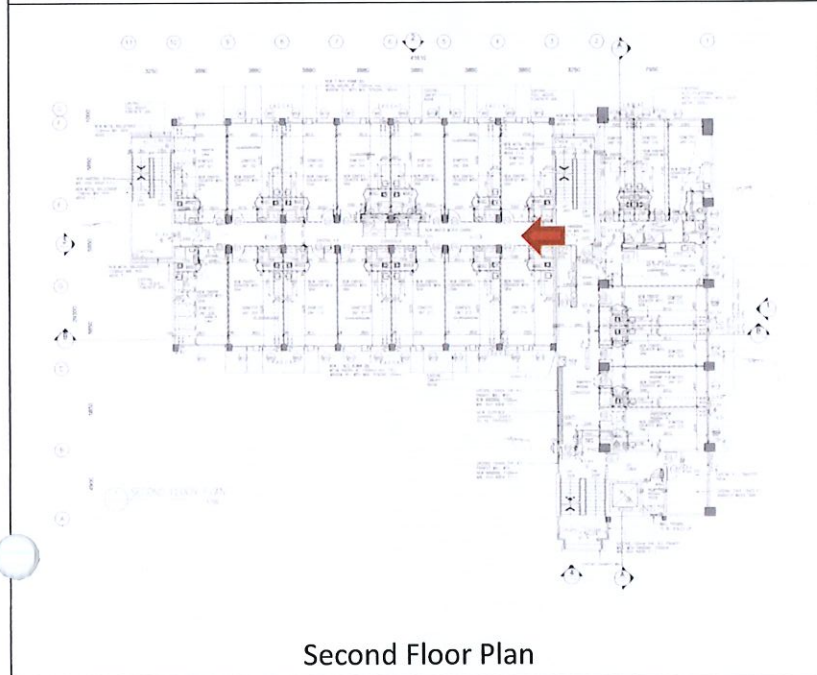




# Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School) Annual Inspection



Second Floor Plan



Second Floor Plan



**Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School)**  
**Annual Inspection**



First Floor Plan

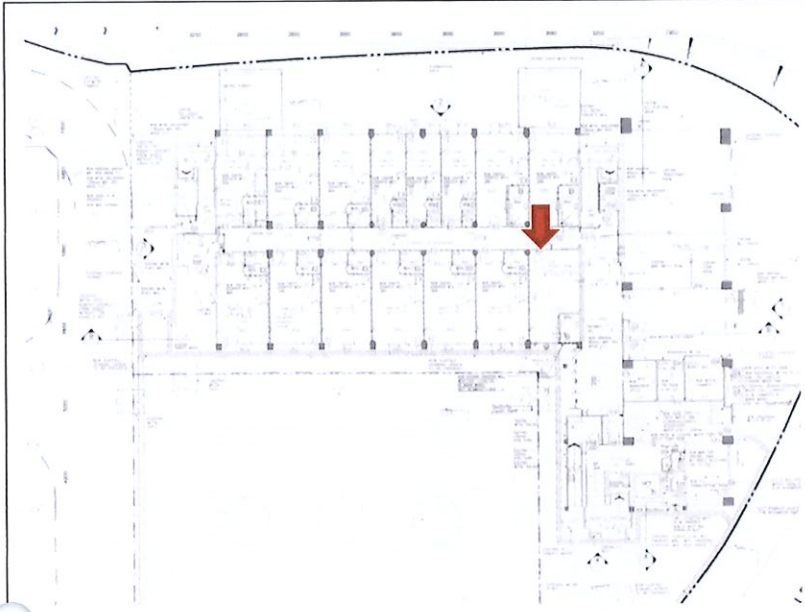


Ground Floor Plan





**Transitional Housing at Cheung Shan Estate (Ex-Tsuen Wan Lutheran School)**  
**Annual Inspection**



Ground Floor Plan



Ground Floor Plan



**OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)**

**INDEPENDENT CHECKING UNIT**

**Form ICU 106**

**Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder**

Permit No. HDP 067/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 20 and 21

To permit the domestic portion of transitional housing in wholesale-converted school to be treated as non-domestic for the purpose of site coverage and plot ratio calculation.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix A.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix A

- (a) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH-1.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (c) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (d) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 28 July 2021 and agreed by the Independent Checking Unit;
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 10 August 2021 shall be submitted by an Authorized Person;
- (g) This permit is given in recognition of the letter submitted by the non-profit making organisation or social enterprise (NGO) dated 28 July 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing;
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or in a state to be agreed with Housing Department.

**OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)**

**INDEPENDENT CHECKING UNIT**

**Form ICU 106**

**Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder**

Permit No. HDP 068/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

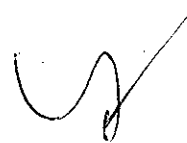
With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 25(1)(a)

To exempt the domestic portion of transitional housing in wholesale-converted school from the provision of open space.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix B.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix B

- (a) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH – 1.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (c) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (d) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 28 July 2021 and agreed by the Independent Checking Unit;
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 10 August 2021 shall be submitted by an Authorized Person;
- (g) This permit is given in recognition of the letter submitted by the non-profit making organisation or social enterprise (NGO) dated 28 July 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing;
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or in a state to be agreed with Housing Department.

OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)

INDEPENDENT CHECKING UNIT

Form ICU 106

Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder

Permit No. HDP 069/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 28A

To permit the reduction in size of the telecommunications and broadcasting room.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix C.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix C

- (a) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH - 1.
- (b) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (c) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (d) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.
- (e) The transitional housing shall be properly used and managed according to the Management Plan submitted on 28 July 2021 and agreed by the Independent Checking Unit;
- (f) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 10 August 2021 shall be submitted by an Authorized Person;
- (g) This permit is given in recognition of the letter submitted by the non-profit making organisation or social enterprise (NGO) dated 28 July 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing;
- (h) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (i) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or in a state to be agreed with Housing Department.

**OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)**

**INDEPENDENT CHECKING UNIT**

**Form ICU 106**

**Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder**

Permit No. HDP 070/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 30

To permit the omission in standard of natural lighting and ventilation in new management office on G/F.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix D.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate



**Appendix D**

- (a) Artificial lighting and mechanical ventilation at a rate of not less than 5 ACH to be provided to the satisfaction of the Building Authority.
- (b) Fresh air intake complying the requirements set out in Annex 2 of PNAP ADM-2 to be provided.
- (c) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH – 1.
- (d) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (e) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (f) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.

**OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)**

**INDEPENDENT CHECKING UNIT**

**Form ICU 106**

**Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder**

Permit No. HDP 071/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 35A

To permit the non-provision of gas aperture in bathroom

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix E.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix E

- (a) Supply of gas as defined under Gas Safety Ordinance (Cap 51) will not be provided to the domestic part of the building;
- (b) A restriction on the installation of gas supply to domestic part of the building and delivery of LPG cylinders to domestic units of the buildings will be imposed in the tenancy agreement;
- (c) A condition will be imposed in the tenancy agreement that tenants shall provide their own electric water heater and induction cooker if an electric water heater and an induction cooker are not provided by the NGO before renting out the unit.
- (d) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH – 1.
- (e) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (f) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (g) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.
- (h) The transitional housing shall be properly used and managed according to the Management Plan submitted on 28 July 2021 and agreed by the Independent Checking Unit;
- (i) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 10 August 2021 shall be submitted by an Authorized Person;
- (j) This permit is given in recognition of the letter submitted by the non-profit making organisation or social enterprise (NGO) dated 28 July 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing;
- (k) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (l) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or in a state to be agreed with Housing Department.

OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)

INDEPENDENT CHECKING UNIT

Form ICU 106

Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder

Permit No. HDP 072/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

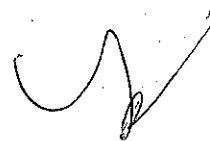
With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 36

To permit the omission in standard of natural lighting and ventilation in bathrooms in domestic building.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix F.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix F

- (a) Subject to the compliance with the requirements and conditions as laid down in PNAP APP-98.
- (b) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH-1.
- (c) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (d) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (e) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.

**OFFICE OF THE PERMANENT SECRETARY  
FOR TRANSPORT AND HOUSING (HOUSING)**

**INDEPENDENT CHECKING UNIT**

**Form ICU 106**

**Acceptance of proposal for modification of and/ or deviation from the provisions of  
Buildings Ordinance and/ or Regulations made thereunder**

Permit No. HDP 073/2021  
Our Ref: HD(ICU)E3/006(N)AA(10)TH - 1  
To : Mr. IP Pui-tung  
c/o Spence Robinson L T Limited  
Room 911, 9/F., C C Wu Building  
302-8 Hennessy Road, Wan Chai  
Hong Kong

Date: 10 August 2021

With reference to section 42 of the Buildings Ordinance, I hereby accept the proposed modification and/or deviation from the provisions of –

Building (Planning) Regulation 45

To permit the non-provision of kitchen.

in respect of the proposed building works/ street works at Transitional Housing (ex-Tsuen Wan Lutheran School), Cheung Shan Estate, Tsuen Wan, N.T. on (lot no.) V.O. No. 68.

2. This Permit is subject to the conditions attached in Appendix G.



( Adela YUNG )  
Senior Architect/ICU4  
Independent Checking Unit

**Note**

As stipulated in Section 41(1) of the Buildings Ordinance (BO), buildings upon any land vested in the Housing Authority are exempt from the provisions of the BO, hence there is no statutory requirement to obtain modification on any section/regulation. However, it is our policy to adhere to the statutory requirements at all times and the above comments are made with reference to the current policy of the Buildings Department.

\* Delete as appropriate

## Appendix G

- (a) No cooking with naked flame inside the premises.
- (b) Provision of a communal pantry or a pantry in each flat with an openable window.
- (c) FSD approved standalone smoke or heat detector shall be provided at a strategic location near the counter top to the satisfaction of the Independent Checking Unit.
- (d) The said works are to be carried out in accordance with the plans approved on 10 August 2021 under our Ref. No. HD(ICU)E3/006(N)AA(10)TH – 1.
- (e) The conditions imposed in this paragraph are to be incorporated in the subsequent amendment plans for approval before the Form ICU 14 is submitted.
- (f) A checklist of valid Forms ICU 106 is to be submitted at the time of the submission of Form ICU14.
- (g) This permit will expire on 9 August 2023 if the consent to commence the above works is not obtained on or before the specified date or where such consent has been obtained but is deemed to be revoked with reference to section 20(1) of the Buildings Ordinance after the specified date.
- (h) ~~The transitional housing shall be properly used and managed according to the Management Plan submitted on 28 July 2021 and agreed by the Independent Checking Unit;~~
- (i) An annual inspection report to certify that the transitional housing complies with the Management Plan, the conditions imposed in this permit and no alterations or additions have been made to the transitional housing as shown on the approved plans dated 10 August 2021 shall be submitted by an Authorized Person;
- (j) This permit is given in recognition of the letter submitted by the non-profit making organisation or social enterprise (NGO) dated 28 July 2021. The undertaking and this permit shall be incorporated into every tenancy agreement between the NGO and the occupants of the transitional housing;
- (k) There shall not be alteration or addition to the transitional housing as shown on the approved plans unless a new permit for the revised layout is obtained.
- (l) The permit will become invalid upon expiry or termination of tenancy between NGO and the owner of the premises. NGO should inform the Independent Checking Unit immediately upon the end of the tenancy and reinstate the premises in accordance with the as-built drawing(s) prior to the proposed alteration and addition works or in a state to be agreed with Housing Department.

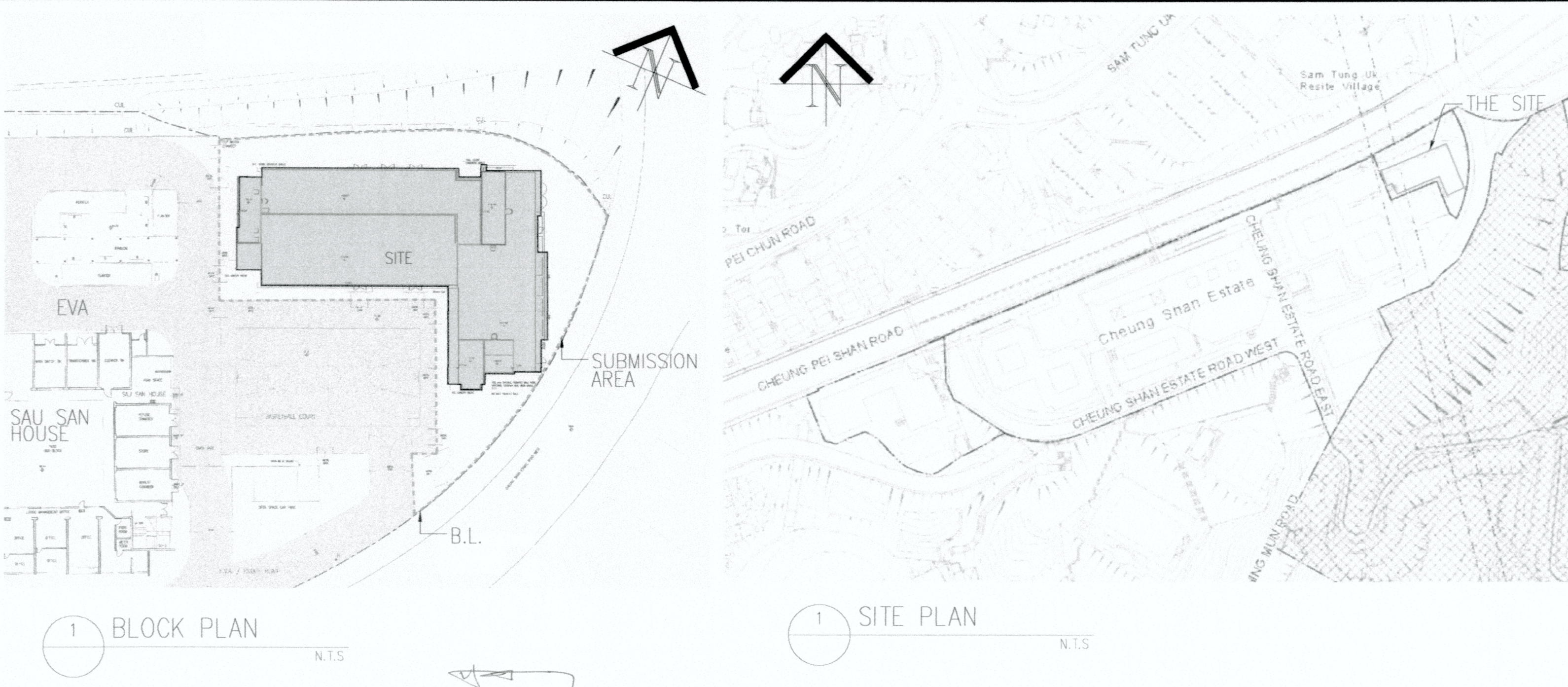


**GENERAL NOTES**

- FIGURES SHOWN IN DRAWINGS ARE STRUCTURAL DIMENSIONS AND IN MILLIMETERS UNLESS OTHERWISE STATED.
- BRICK WORKS AND MASONRY WORKS TO BE BUILT IN CEMENT MORTAR OF 1:3 MIX UNLESS OTHERWISE STATED.
- NON STRUCTURAL CONCRETE TO BE IN 1:2:4 MIX UNLESS OTHERWISE STATED.
- MINIMUM CLEAR HEIGHT FROM FLOOR TO UNDERSIDE OF ANY BEAM AND CEILING ABOVE FLOOR TO BE 2.3M AND 2.5M RESPECTIVELY.
- REQUIREMENTS OF DESIGN MANUAL - BARRIER FREE ACCESS 2008 TO BE COMPLIED.
- DRAINAGE DRAWINGS TO BE SUBMITTED SEPARATELY.
- ALL LEVELS ARE IN METERS ABOVE PRINCIPAL DATUM.
- ALL PARAPET OR RAILING TO BE 1100mm HIGH ABOVE FINISHED FLOOR LEVEL WITH LOWEST 150mm BUILT SOLID FIRE RATED DOOR.
- (a) ALL ESCAPE DOOR TO HAVE APPROPRIATE NOTICE FIXED TO BOTH SIDES OF THE DOORS TO REMIND BUILDING USERS THAT THE DOOR SHOULD NORMALLY BE KEPT CLOSED.
- (b) ALL FIRE RESISTING DOOR TO BE PROVIDED ON BOTH SIDES WITH NOTICE "FIRE DOOR TO BE KEPT CLOSED" BOTH IN ENGLISH AND CHINESE AS PER SECTION 14 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- (c) ALL FIRE RESISTING DOOR TO BE CERTIFIED BY A RECOGNIZED LABORATORY AS BEING IN ACCORDANCE WITH BS476, PARTS 20 AND 22:1987.
- (d) ALL FIRE RESISTING DOORS TO BE SELF-CLOSING.
- ALL FIRE RESISTING WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR FIRE SAFETY IN BUILDING 2011.
- FRITRY TO BE COMPLIED WITH CLAUSE C13.4 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- EVERY OPENING FOR THE PASSAGE OF AIR-CONDITIONING DUCTS, VENTILATION DUCTS, ELECTRICAL TRUNKING, CONDUITS, PIPES AND WIRES THROUGH A COMPARTMENT WALL OR FLOOR, AND EVERY HOLE IN SUCH A WALL OR FLOOR LEFT AFTER CONSTRUCTION SHALL BE PROTECTED WITH DAMPERS OR OTHER SUITABLE FORM OF FIRE STOP TO MAINTAIN THE REQUIRED R.F.C. OF THAT WALL OR FLOOR TO BE COMPLIED WITH CLAUSE C8.2 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- DOOR INCLUDED ONE LEAF OF A PAIR OF DOUBLE DOORS, WILL HAVE A CLEAR WIDTH OF NOT LESS THAN 900mm.
- ALL ACCESSIBLE RAMPS (1:12) TO BE PROVIDED WITH HANDRAILS ON BOTH SIDES.
- ALL EXISTING INTERNAL FLOOR DRAINAGE OR CHANNEL TO BE MAINTAINED, REMINDED AND UNCHANGED UNLESS OTHERWISE STATED.
- INACCESSIBLE ROOF FOR MAINTENANCE ONLY.
- FOR THE EXCESSIVE RISER HEIGHT OF METAL STAIRCASE, SUFFICIENT WARNING SIGNS WILL BE PROVIDED AT CONSPICUOUS LOCATIONS OF THE STAIRCASE FOR ALERTING USERS OF THE HIGHER RISER HEIGHT.
- ALL EXIT STAIRCASES WILL BE PROVIDED WITH SUFFICIENT LIGHTING AND NON-SLIP FINISH FOR THE CORRIDOR AND WARNING STRIPS FOR THE STEPS OF THE STAIRCASES.
- 1100mm H. NEW METAL RAILINGS TO BE ADDED TO THOSE WINDOW OPENINGS WITH OPERABLE SASH LOWER THAN 1100mm F.F.L. SPACING BETWEEN RAILINGS TO BE MAX 100mm.
- THE PROPOSED A&A WORKS SHOWN ON THESE DRAWINGS DO NOT INVOLVE CHANGE TO THE:
  - BUILDING HEIGHT
  - G.F.A. & SITE COVERED AREA
- TEMPORARY REFUGE SPACE WITH AN AREA OF NOT LESS THAN 1.5m X 1.5m TO BE COMPLIED WITH CLAUSE B30.1 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- SINGLE STEP DROP LEVEL WILL BE MARKED CLEARLY VISIBLE.
- STRUCTURAL PLAN TO BE SUBMITTED SEPARATELY.
- F.R.R. ENCLOSURE TO NON-EMERGENCY SERVICES IN STAIRCASES TO BE COMPLIED WITH CLAUSE C9.2 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- NEW LIGHTWEIGHT PARTITION WALL TO BE SUBMITTED BY MINOR WORK SUBMISSION INTERNAL PARTITION WALL (REF: NO.MWHD2111877), EXTERNAL PARTITION WALL (REF: NO.MWHD2113668)
- NEW WINDOWS TO BE PROVIDED AND SUBMITTED BY MINOR WORKS (REF: NO.MWHD2111875)
- FIBER GLASS WATER TANK OVER 9M3 TO BE SUBMITTED BY MINOR WORKS (REF: NO. MWHD210008)
- THE PREMISES WILL NOT BE CARVED OUT FOR SALES.
- ALL PARTITION WALL TO BE COMPLIED WITH NOTE 3 OF TABLE C1 OF CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.

**F.S. NOTES**

- GENERAL**
- ALL EXISTING FIRE SERVICES PROVISIONS SHALL REMAIN UNCHANGED EXCEPT THOSE AS STATED BELOW.
- FIRE HYDRANT AND HOSE REEL SYSTEM**
- EXISTING FIRE HYDRANT AND HOSE REEL SYSTEM WITH FS WATER TANKS (EFFECTIVE VALUE = 27m<sup>2</sup>) AND FIXED FIRE PUMPS SHALL BE RETAINED AND INDICATED ON PLANS.
- FIRE HYDRANTS SHALL BE PROVIDED AND PROMINENTLY SITED IN AN APPROACH LOBBY TO A REQUIRED STAIRCASE OR REQUIRED STAIRCASE ENCLOSURE AS INDICATED ON PLANS IN ACCORDANCE WITH FSD CIRCULAR LETTER NO. 2/2013.
- HOSE REEL SHALL BE PROVIDED TO SUIT THE NEW LAYOUT OF A&A WORKS AS INDICATED ON PLANS AND ENSURE THAT EVERY PART OF BUILDING CAN BE REACHED BY A LENGTH OF NOT MORE THAN 30M HOSE REEL TUBING.
- LOCATIONS OF FS INLETS, FIRE HYDRANT AND HOSE REEL SHALL BE PROVIDED AS INDICATED ON PLANS. ALL FS INLETS ARE INTER-CONNECTED.
- ONE MANUAL ACTUATING POINT & ONE AUDIO WARNING DEVICE SHALL BE PROVIDED FOR EACH HOSE REEL POINT. THIS MANUAL ACTUATING POINT SHALL FACILITATE THE FIRE PUMP ACTUATION & AUDIO/VISUAL WARNING ALARM INITIATION.
- SPRINKLER SYSTEM**
- NEW SPRINKLER SYSTEM SHALL BE PROVIDED FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN ONLY IN ACCORDANCE WITH LPC RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS INCORPORATING BS EN 12845:2015, FSD CIRCULAR LETTER NO. 5/2020 & 4/96 AND TECHNICAL GUIDANCE (APPLICATION OF LOSS PREVENTION COUNCIL RULES FOR AUTOMATIC SPRINKLER INSTALLATIONS 2015 INCORPORATING BS EN 12845 IN HONG KONG) AS THE FIRE SAFETY MEASURES AS STATED IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- THE SPRINKLER SYSTEM SHALL BE PROVIDED BY IMPROVED SPRINKLER SYSTEM WHICH IS CONNECTED FROM EXISTING FIRE HYDRANT/HOSE REEL SYSTEM IN ACCORDANCE WITH FSD CIRCULAR LETTER NO. 4/96.
- THE SPRINKLER SYSTEM IS CLASSIFIED AS ORDINARY HAZARD GROUP 1 (DH1).
- NEW SPRINKLER PUMPS (ONE DUTY AND ONE STANDBY) SHALL BE PROVIDED AS INDICATED ON PLANS.
- LOCATION OF SPRINKLER INLET AND SPRINKLER CONTROL VALVE SHALL BE PROVIDED AS INDICATED ON PLANS.
- A MAIN FIRE ALARM CONTROL AND ANNUNCIATION PANEL SHALL BE PROVIDED FOR THE SPRINKLER SYSTEMS AND TO BE LOCATED INSIDE SPRINKLER CONTROL VALVE ROOM AT G/F TO INDICATE THE FLOOR / ZONE UPON THE SPRINKLER OPERATED.
- FIRE DETECTION AND FIRE ALARM SYSTEM**
- EXISTING MANUAL FIRE ALARM SYSTEM TO BE RETAINED AND MODIFIED TO SUIT A&A WORKS IN ACCORDANCE WITH THE BS 5839-1:2002 +A2:2008 AND FSD CIRCULAR LETTER NO. 1/2009 & 3/2010.
- NEW FIRE DETECTION SYSTEM SHALL BE PROVIDED FOR THE RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN ONLY AS STATED IN CLAUSE C13.4 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011. NO FIRE DETECTION SYSTEM WILL BE PROVIDED FOR ALL E&M PLANT ROOM AS THE ENTIRE BUILDING IS RESIDENTIAL USE.
- NEW VISUAL FIRE ALARM SYSTEM (FLASHING RED LIGHT) SHALL BE PROVIDED IN ACCORDANCE WITH BARRIER FREE ACCESS 2008 AND FSD CIRCULAR LETTER NO. 2/2012.
- A MAIN FIRE ALARM CONTROL AND ANNUNCIATION PANEL SHALL BE PROVIDED INSIDE SPRINKLER CONTROL VALVE ROOM AT G/F AS INDICATED ON PLANS.
- ALL FIRE ALARM SIGNAL INCLUDING THE ALARM FROM MANUAL FIRE ALARM SYSTEM AND SPRINKLER SYSTEM SHALL BE TRANSMITTED TO THE FIRE SERVICES COMMUNICATION CENTRE VIA A DIRECT TELEPHONE LINK FROM THE MAIN FIRE ALARM CONTROL PANELS.
- PORTABLE HAND-OPERATED APPROVED APPLIANCES**
- PORTABLE FIRE EXTINGUISHERS WITH SPECIFIED TYPE SHALL BE PROVIDED AS INDICATED ON PLANS.
- EMERGENCY LIGHTING AND EXIT SIGN**
- EMERGENCY LIGHTING SHALL BE PROVIDED TO THE ENTIRE BUILDING IN ACCORDANCE WITH BS 5266: PART 1:2011 & BS EN 1838:2013.
- EMERGENCY LIGHTING WITH BATTERY BACKUP ONLY SHALL BE PROVIDED TO THE STAIRCASE AND COMMON AREAS SUCH AS OPEN CORRIDOR.
- NO EMERGENCY LIGHTING WILL BE PROVIDED FOR RESIDENTIAL FLAT UNITS, CABLE DUCT, PIPE DUCT, TELEPHONE DUCT AND SERVICE DUCT.
- SUFFICIENT DIRECTIONAL AND EXIT SIGNS SHALL BE PROVIDED TO ENSURE THAT ALL EXIT ROUTES FROM ANY PUBLIC AREAS TO STAIRCASES ARE CLEARLY INDICATED AND COMPLIED WITH FSD CIRCULAR LETTER NO. 5/2008.
- SECONDARY ELECTRICAL SUPPLY**
- EXISTING SECONDARY ELECTRICAL SUPPLY TEE-OFF BEFORE MAIN SWITCH SHALL BE RETAINED TO MAINTAIN OPERATION OF THE FIRE SERVICE SYSTEMS IN THE EVENT OF NORMAL POWER FAILURE. EMERGENCY GENERATOR WILL NOT BE PROVIDED.
- VENTILATION / AIR CONDITIONING CONTROL SYSTEM**
- VENTILATION / AIR CONDITIONING CONTROL SYSTEM SHALL BE PROVIDED, AND IT SHALL STOP MECHANICALLY INDUCED AIR MOVEMENT WITHIN DESIGNATED FIRE COMPARTMENTATION.
- OTHER FSD REQUIREMENT**
- ALL LININGS FOR ACOUSTIC AND THERMAL INSULATION PURPOSES IN DUCTING AND CONCEALED LOCATIONS SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BRITISH STANDARD 476:PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
- ALL LININGS FOR ACOUSTIC, THERMAL INSULATION AND DECORATIVE PURPOSES WITHIN PROTECTED MEANS OF ESCAPE SHALL BE OF CLASS 1 OR 2 RATE OF SURFACE SPREAD OF FLAME AS PER BRITISH STANDARD 476: PART 7 OR ITS INTERNATIONAL EQUIVALENT, OR BE BROUGHT UP TO THAT STANDARD BY USE OF AN APPROVED FIRE RETARDANT PRODUCT.
- ANY INTENDED STORAGE OR USE OF DANGEROUS GOODS AS DEFINED IN CHAPTER 295 OF THE LAWS OF HONG KONG SHOULD BE NOTIFIED TO THE DIRECTOR OF FIRE SERVICES.
- FIRE SAFETY PROVISIONS FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN**
- FIRE SAFETY PROVISIONS FOR RESIDENTIAL FLATS WITH PANTRY COUNTER DESIGN SHALL COMPLY WITH CLAUSE C13.4 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDINGS 2011.
- FIRE DETECTION SYSTEM**
- ADDRESSABLE SMOKE DETECTOR(S) FITTED WITH SOUNDER BASE SHALL BE PROVIDED INSIDE SUBJECT FLAT WITH PANTRY COUNTER (EXCLUDE BATHROOM). THE ALARM SIGNAL OF THE SMOKE DETECTOR(S) SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL OF THE BUILDING AND SHOULD NOT BE LINKED TO THE FIRE SERVICES COMMUNICATION CENTRE.
- ADDRESSABLE SMOKE DETECTOR(S) SHALL BE PROVIDED AT THE COMMON AREA OUTSIDE THE SUBJECT FLAT(S) WITH PANTRY COUNTER (EXCLUDE STAIRCASES AND STAIRCASE LOBBIES). THE ALARM SIGNAL OF THE SMOKE DETECTOR(S) SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL, THE COMMON FIRE ALARM SYSTEM OF THE BUILDING AND THE FIRE SERVICES COMMUNICATION CENTRE.



**SCHEDULE OF MEANS OF ESCAPE**

FLOOR	LOCATION / USE	ZONE	USE CLASSIFICATION	FACTOR	USABLE FLOOR AREA (m <sup>2</sup> )	NO. OF PERSON PER USE	MIN. EXIT DOORS	MIN. TOTAL WIDTH OF (mm)				PROVIDED MIN. WIDTH OF EACH(mm)				
								EXIT DOORS		EXIT ROUTES		EXIT DOORS		EXIT ROUTES		
								REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	
G/F	UNIT G01 - G14		1b	4.5	317.851	71	2	2	1750	2400	2100	2100	850	900	1050	1050
	NEW MANAGEMENT OFFICE		4a	9	7402	1	1	1	850	-	1050	750	850	1050	1050	
	NEW ACTIVITY ROOM		-	*3	22.854	8	1	1	-	850	-	1050	750	850	1050	1050
TOTAL OF G/F						80	2	2	1750	1800	2100	2100	850	900	1050	1050
1/F	UNIT 101 - 114	A	1b	4.5	344.850	77	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 115-118,120-122	B	1b	4.5	157.404	35	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 1/F						112	2	3	1750	3300	2100	2100	850	900	1050	1050
2/F	UNIT 201 - 214	A	1b	4.5	344.831	77	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 215 - 222	B	1b	4.5	160.109	36	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 2/F						113	2	3	1750	3300	2100	2100	850	900	1050	1050
3/F	UNIT 301 - 314	A	1b	4.5	342.303	77	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 315 - 322	B	1b	4.5	160.109	36	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 3/F						113	2	3	1750	3300	2100	2100	850	900	1050	1050
4/F	UNIT 401 - 414	A	1b	4.5	342.302	77	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 415 - 422	B	1b	4.5	160.109	36	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 4/F						113	2	3	1750	3300	2100	2100	850	900	1050	1050
5/F	UNIT 501 - 514	A	1b	4.5	342.304	77	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 515 - 522	B	1b	4.5	160.109	36	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 5/F						113	2	3	1750	3300	2100	2100	850	900	1050	1050
6/F	UNIT 601 - 614	A	1b	4.5	337.087	75	2	2	1750	1800	2100	2100	850	900	1050	1050
	UNIT 615 - 622	B	1b	4.5	160.109	36	2	2	1750	1800	2100	2100	850	900	1050	1050
TOTAL OF 6/F						111	2	3	1750	3300	2100	2100	850	900	1050	1050
TOTAL CAPACITY OF G/F TO 6/F						755 (PERSON)										

REMARK : \* FACTOR SPECIFIED BY ICU

- SPRINKLER SYSTEM**
- SPRINKLER HEAD(S) SHALL BE PROVIDED TO COVER THE NOTIONAL PANTRY COUNTER AREA. THE ALARM SIGNAL OF THE SYSTEM SHOULD BE CONNECTED TO THE LOCAL FIRE SERVICES CONTROL PANEL, THE COMMON FIRE ALARM SYSTEM OF THE BUILDING AND THE FIRE SERVICES COMMUNICATIONS CENTRE.
- NEW PANTRY COUNTER WITH SINK IS EQUIVALENT TO OPEN KITCHEN AT INDICATED ON PLANS.
- THE CONDITION STATED IN CLAUSE 75.8 IN CODE OF PRACTICE FOR FIRE SAFETY IN BUILDING 2011 SHALL BE INCORPORATED INTO THE FIRE SAFETY MANAGEMENT PLAN (FSMP) AND DEED OF MUTUAL COVENANT (DMC) THE AUTHORIZED PERSON IS RESPONSIBLE FOR ENSURING THAT FINALIZED FSMP FOR RESIDENTIAL FLATS WITH OPEN KITCHEN ARE ENDORSED BY THE BD / FSD BEFORE FS ACCEPTANCE INSPECTION.

**COLOUR INDICATIONS :**

- R.C. CONCRETE
- NEW LIGHTWEIGHT PARTITION BY MINOR WORKS (REF: NO.MWHD2111877)
- NEW WATER TANK BY MINOR WORKS (REF: NO.MWHD210008)
- LIGHTWEIGHT PARTITION WITH F.R.R. -/60/60
- LIGHTWEIGHT PARTITION WITH F.R.R. -/120/120
- EXTERNAL PARTITION WALL WITH F.R.R. -/120/120 BY MINOR WORKS (REF: NO.MWHD2113668)
- MOSAIC OR OTHER NON-ABSORBENT
- METAL WORK & STEEL
- SANITARY FITTINGS
- NEW DOOR
- DRAINAGE COVER HOLES NOT EXCEED 20mm X 20mm (TYPE 1)
- DRAINAGE COVER HOLES NOT EXCEED 20mm X 160mm (TYPE 2)
- NEW WINDOW WITH WINDOW TAG BY MINOR WORKS (REF: NO.MWHD2111875)

**LEGEND FOR FIRE SERVICES :**

- O CO2/F.E. 4.5kg FIRE EXTINGUISHER
- O F.E.19L H2O FIRE EXTINGUISHER
- O FH FIRE HYDRANT
- HOSE REEL
- EXIT SIGN
- FSI FS INLET
- DIRECTIONAL EXIT SIGN

**LEGEND :**

- STRUCTURAL FLOOR LEVEL
- P.D. P/L/PE DUCT
- MVAU MECHANICAL VENTILATION & ARTIFICIAL LIGHTING
- ALU ARTIFICIAL LIGHTING
- 1500 mm X 1500 mm
- FAI FRESH AIR INTAKE
- EAO EXHAUST AIR OUTLET
- T.R.S. TEMPORARY REFUGE SPACES
- CL CAT LADDER
- ACCESSIBLE LIFT

**NOTE :**

- DEMOLITION WORKS/ DELETION OF APPROVED WORK
- UNDERLINE FOR REVISION
- NON-SUBMISSION AREA
- SUBMISSION AREA
- BOUNDARY LINE

**DOOR SCHEDULE :**

- H.W. ACCESS PANEL WITH F.R.R. -/60/60 SIZE UNLESS SPECIFIED
- F.R.R. -/60/60 H.W. SELF CLOSING DOOR WITH SMOKE SEAL AND VISION PANEL
- F.R.R. -/60/60 H.W. SELF CLOSING DOOR WITH SMOKE SEAL
- F.R.R. -/60/60 H.W. SELF CLOSING DOOR WITH SMOKE SEAL
- F.R.R. -/60/- H.W. SELF CLOSING DOOR WITH SMOKE SEAL AND LOCK
- F.R.R. -/60/- METAL DOOR WITH SELF CLOSING
- F.R.R. -/60/60 H.W. SELF CLOSING DOOR WITH VISION PANEL
- H.W. SELF CLOSING DOOR
- WATERPROOF FOLDING DOOR

**ICU REF.**

**FSD REF.**

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS ALTERATION & ADDITION WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

**SRLT**

Spence Robinson LT Ltd  
Architects - Project Managers - Interior Designers

ROOM 211, 9/F, C C WU BUILDING, 302-308 HENNESSY ROAD, WAI CHAL HONG KONG  
TEL (852) 2838 0909 FAX (852) 3520 4801

**PAUL P. T. IP**  
RIBA Registered Architect  
Authorized Person (List of Architects)

PROJECT

**TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN**

DRAWING TITLE

NOTES, SITE PLAN, SCHEDULES BLOCK PLAN AND LEGENDS

SCALE

N.T.S.

DATE

21 FEB 2022

JOB NO.

6424

COMPUTER REF.

GBP-06-18

DRAWN

KA

CHECKED

PI/LL

DRAWING NO.

GBP-01

Plan Approved

Adela YUNG  
SA/ICU4  
Independent Checking Unit  
21 FEB 2022

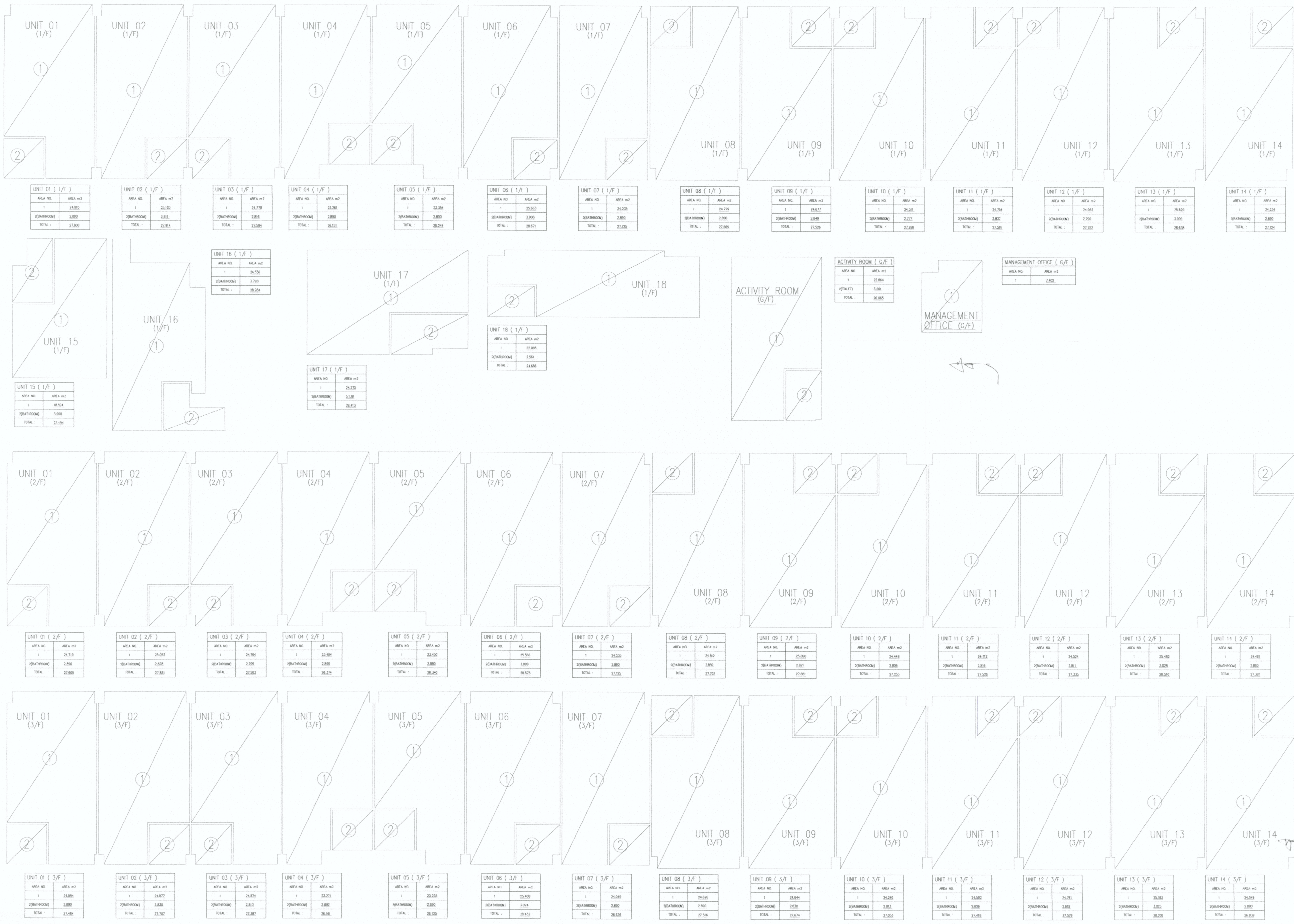
**RECORD DRAWING**







USABLE FLOOR AREA CALCULATION (FOR PROPOSED WINDOW CALCULATION)



ICU REF.  
FSD. REF.

**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS ALTERATION & ADDITION WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS

02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

**SRLT**  
Spence Robinson LT Ltd  
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**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
U.F.A. DIAGRAM 1

SCALE	N.T.S.	DRAWN	KA
DATE	21 FEB 2022	CHECKED	PI/LL
JOB NO.	6424	DRAWING NO.	GBP-03
COMPUTER REF.	GBP-06-18		

**RECORD DRAWING**

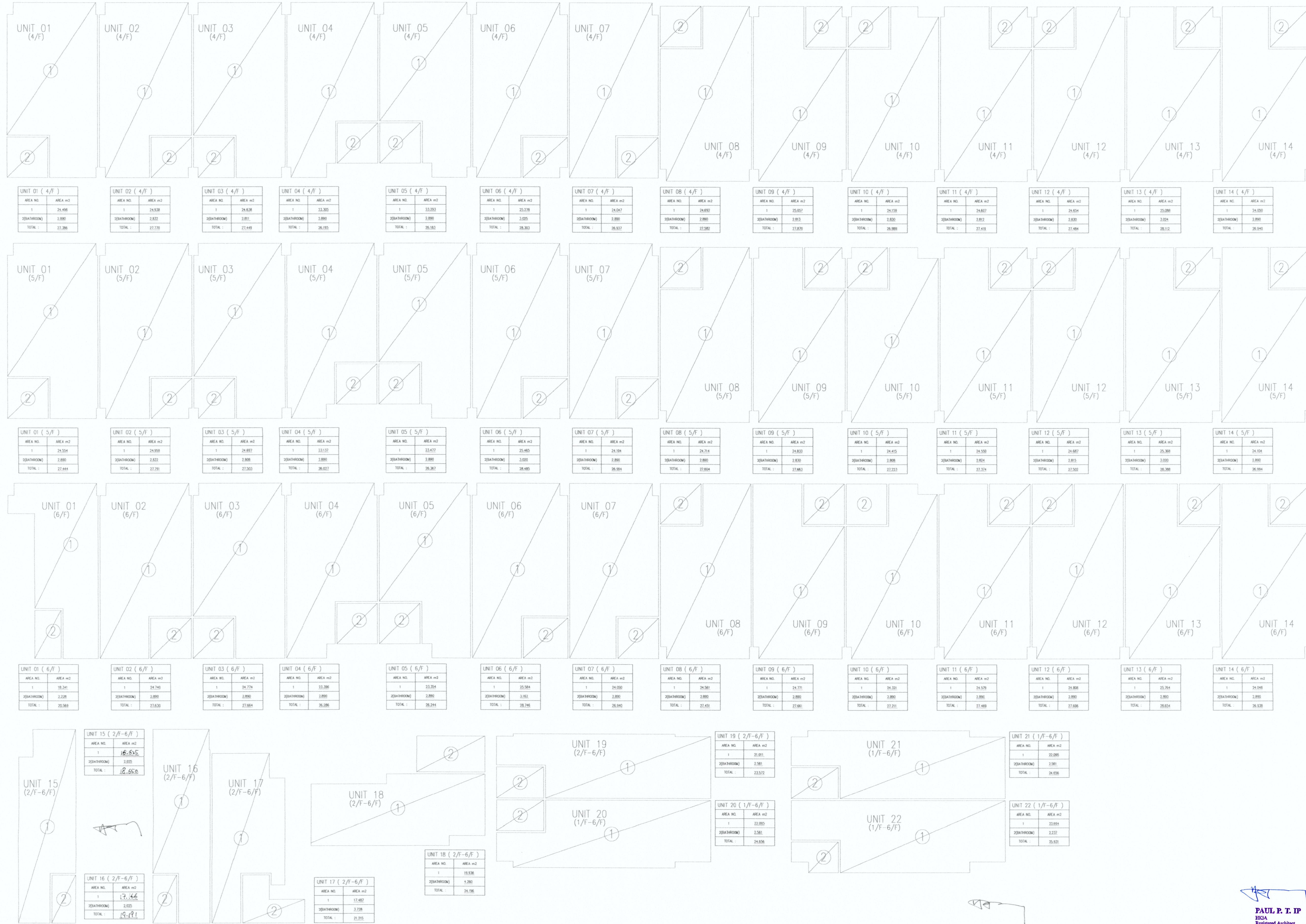
Plan Approved  
**Adela YUNG**  
SA/ICU4  
Independent Checking Unit

f ( ) in HD(ICU)B 3/606(C)  
PA(10)A1.pl.2

Coloured General Drawing for ICU Approval



USABLE FLOOR AREA CALCULATION (FOR PROPOSED WINDOW CALCULATION)



ICU REF.  
FSD. REF.

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS ALTERATION & ADDITION WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS

02-2022 0 AMENDMENT



Spence Robinson LT Ltd  
Architects - Project Managers - Interior Designers

ROOM 911, 9/F, C.W.U. BUILDING, 302-308 HENNESSY ROAD, WAN CHAI, HONG KONG  
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PAUL P. T. IP  
RICA  
Registered Architect  
Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
U.F.A. DIAGRAM 2

SCALE	DRAWN
N.T.S.	KA
DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-03a
COMPUTER REF.	
GBP-06-18	

Plan Approved  
Adela YUNG  
SA/ICUA  
Independent Checking Unit  
1 MAR 2022

RECORD DRAWING

PAUL P. T. IP  
RICA  
Registered Architect  
Authorized Person (List of Architects)







FIRE RESISTANCE REQUIREMENT FOR ELEMENTS OF CONSTRUCTION - NEW BLOCK

FLOOR	USE	CLASS	COMPARTMENT AREA / VOLUMN	F.R.R. REQ. (MIN.)	MIN. DIMENSION FOR ELEMENTS OF CONSTRUCTION							
					R.C. SLAB		R.C. BEAM		R.C. COLUMN		R.C. WALL	
					THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)
G/F	EXISTING SW/FOY RM	8	-	120	* 180	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EX STORE RM											
	FRESH AND FLUSHING WATER UPPEED PUMP RM											
	REFUSE CHAMBER TBE ROOM											
	SPRINKLER CONTROL VALVE ROOM											
1/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EX F.S. TRANSFER PUMP ROOM	8	-	120	* 180	* 25	* 200	* 25	* 300	* 25	* 200	* 20
2/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EX F.S. TRANSFER WATER TANK ROOM	8	-	120	* 180	* 25	* 200	* 25	* 300	* 25	* 200	* 20
3/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EL. METER ROOM	8	-	120	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
4/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EL. METER ROOM	8	-	120	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
5/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EL. METER ROOM	8	-	120	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
6/F	DOMESTIC	1	NOT LIMITED	60	* 150	* 25	* 200	* 25	* 300	* 25	* 200	* 20
	EX F.S. TRANSFER PUMP ROOM	8	-	120	* 180	* 25	* 200	* 25	* 300	* 25	* 200	* 20

REMARK \* : REFERS TO STRUCTURE DRAWING (SE/22688/P290/FP002, SE/22688/P290/FP003 & SE/22688/P290/FP004) FOR INFORMATION ONLY

FIRE RESISTANCE REQUIREMENT FOR ELEMENTS OF CONSTRUCTION - OLD BLOCK

FLOOR	USE	CLASS	COMPARTMENT AREA / VOLUMN	F.R.R. REQ. (MIN.)	MIN. DIMENSION FOR ELEMENTS OF CONSTRUCTION							
					R.C. SLAB		R.C. BEAM		R.C. COLUMN		R.C. WALL	
					THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)	THICKNESS(mm)	COVER TO STEEL(mm)
G/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
1/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
2/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
3/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
4/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
5/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	
6/F	DOMESTIC	1	NOT LIMITED	# 60	# 20	# 200	# 25	# 300	# 25	# 200	# 20	

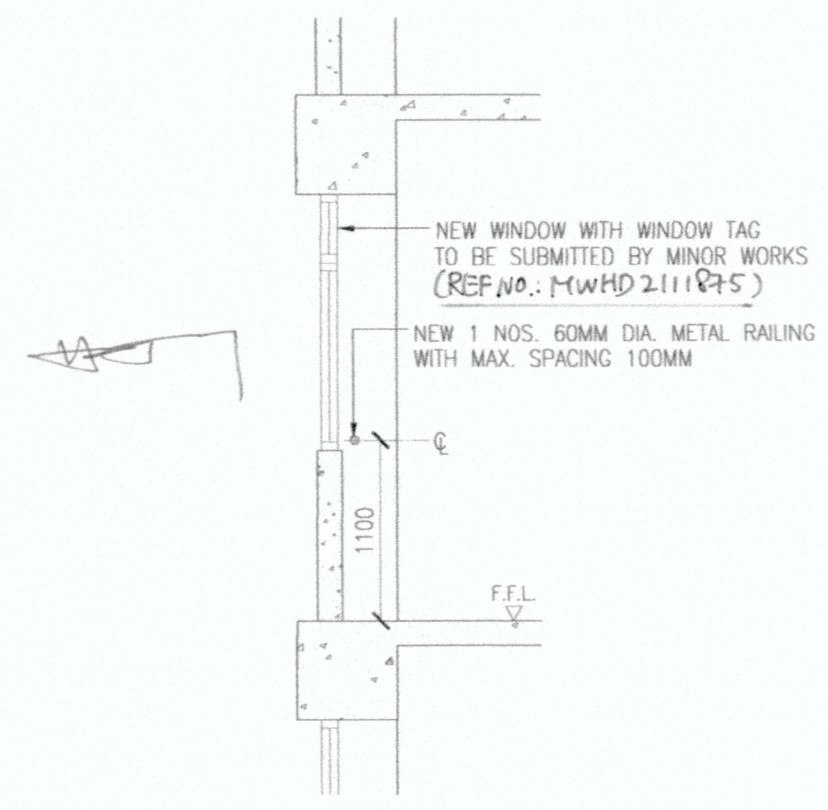
REMARK # : REFERS TO STRUCTURE DRAWING (17/PS/E-03) FOR INFORMATION ONLY

SCHEDULE OF SANITARY FITMENTS

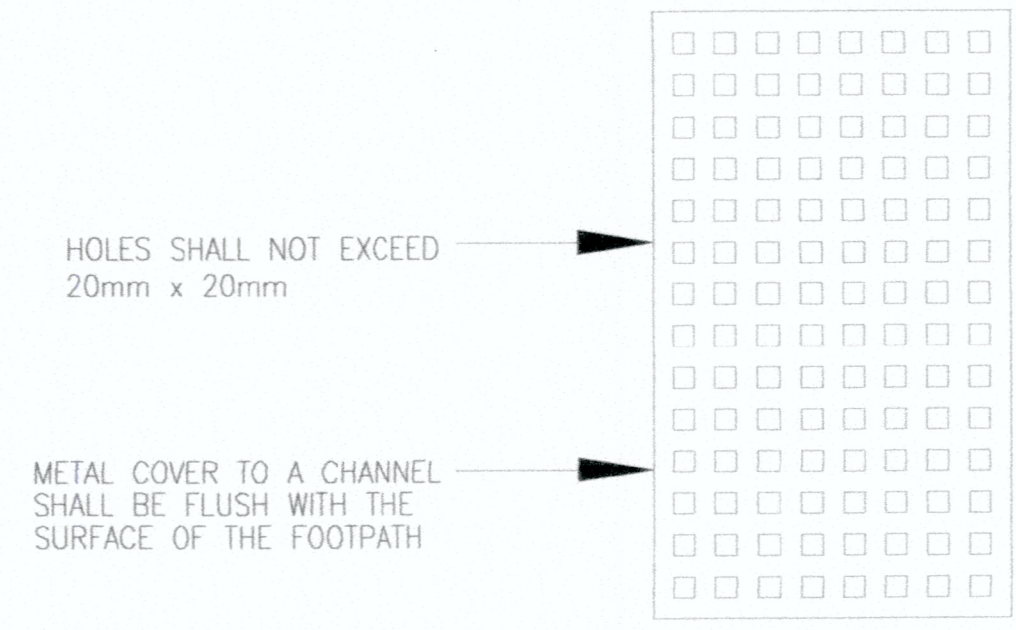
FLOOR	LOCATION / USE	PROPORTION OF MALE AND FEMALE PERSON	TOTAL CAPACITY	NO. OF SANITARY REQUIRED					NO. OF SANITARY PROVIDED				
				UNISEX	W.C.	BASIN	URINAL	SHOWER	UNISEX	W.C.	BASIN	URINAL	SHOWER
G/F	OFFICE	1 : 1	1										
	ACTIVITY ROOM		8										
G/F	DOMESTIC	1 : 1	71	7	7	-	7		14	14	-	14	
			112	10	10	-	10		21	21	-	21	
			113	10	10	-	10		22	22	-	22	
			113	10	10	-	10		22	22	-	22	
			113	10	10	-	10		22	22	-	22	
			111	10	10	-	10		22	22	-	22	

DISCHARGE VALUE OF STAIRCASE (NON SPRINKLER PROTECTED BUILDING)

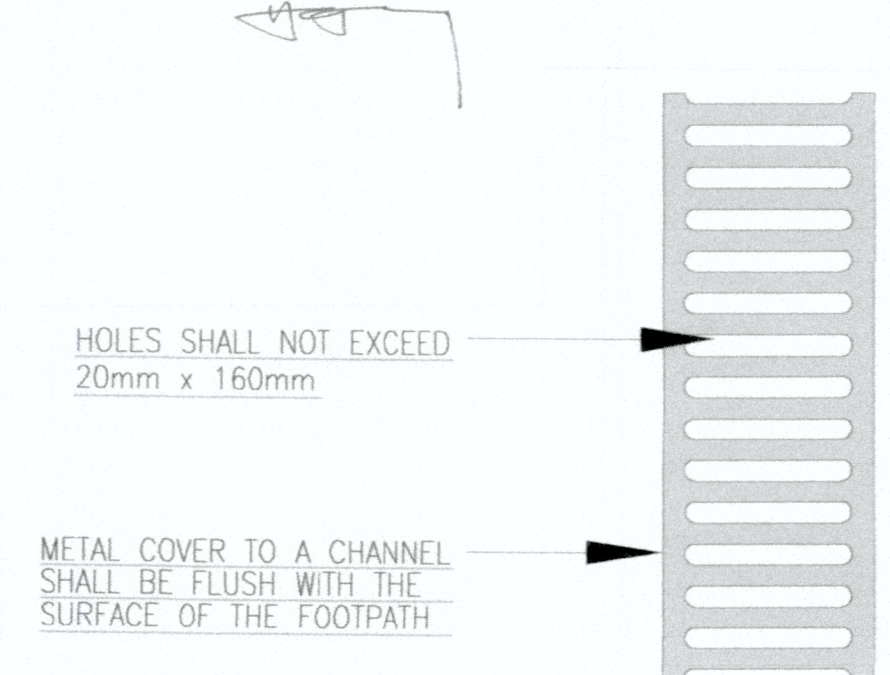
STAIRCASE	NO. OF STOREY SERVED	TOTAL CAPACITY SERVED BY STAIR (PERSON)	CAPACITY	WIDTH OF STAIRCASE (MIN.)	DISCHARGE VALUE PERMITTED
ST1	6 (1/F TO 6/F)	230	TOTAL CAPACITY OF ZONE A: 230	1350	495
ST2	6 (1/F TO 6/F)	337	TOTAL CAPACITY OF ZONE A: 230 + TOTAL CAPACITY OF ZONE B: 107	1350	495
STA	6 (1/F TO 6/F)	108	TOTAL CAPACITY OF ZONE B: 108	1500	555
TOTAL : 675 < 1545 (PERMITTED)					



SECTION OF TYPICAL WINDOW WITH CILL LOWER THAN 1000MM FROM F.F.L.



TYPICAL SURFACE CHANNEL COVER DETAIL (TYPE 1)

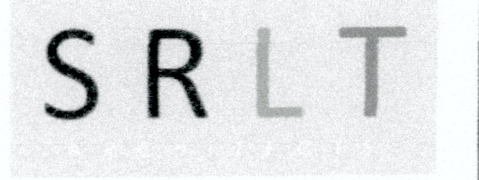


TYPICAL SURFACE CHANNEL COVER DETAIL (TYPE 2)

ICU REF.  
FSD. REF.

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02-2022 0 AMENDMENT



Spence Robinson LT Ltd  
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PAUL P. T. IP  
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Registered Architect  
Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
WINDOW AREA CALCULATION

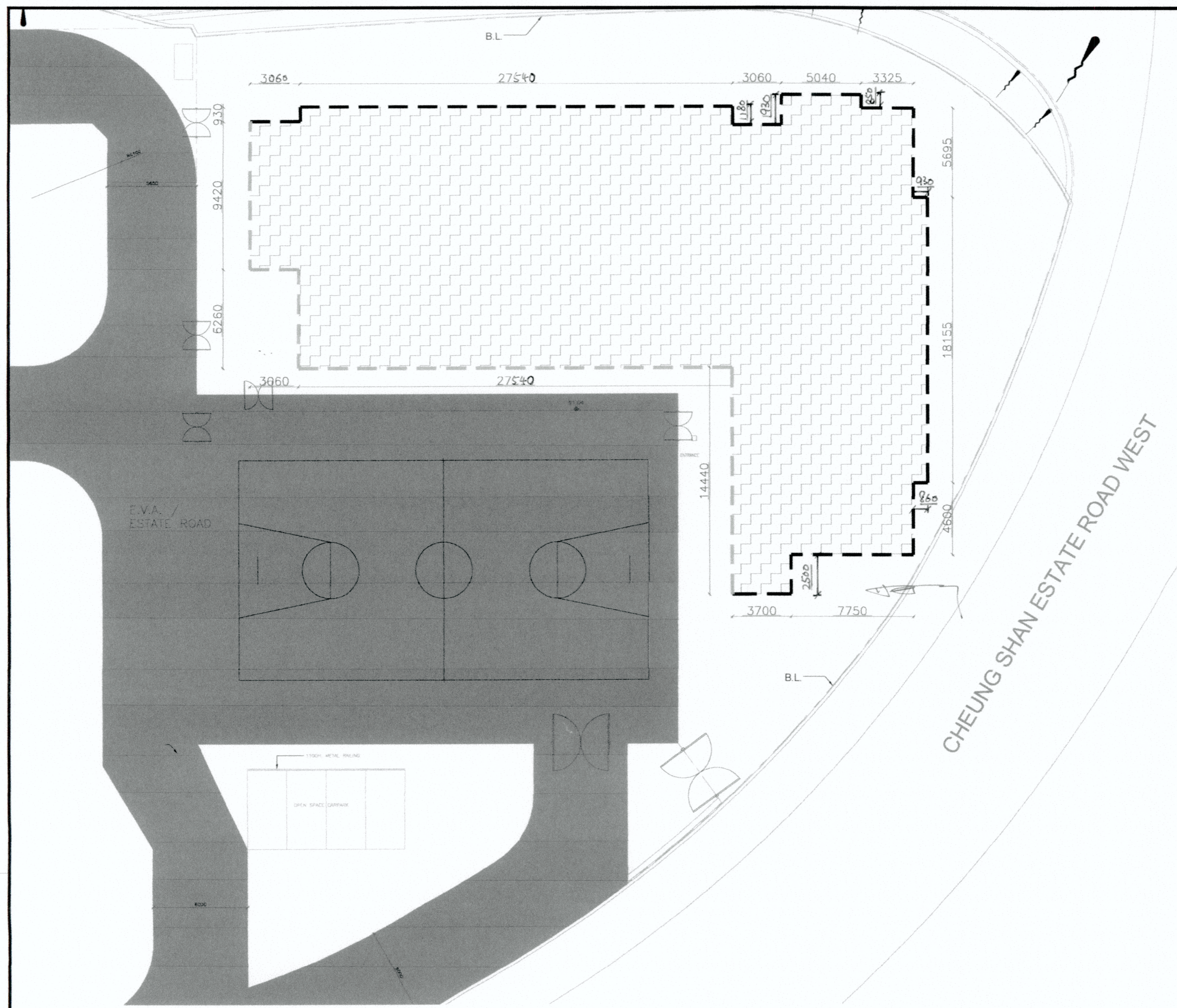
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N.T.S.	KA
DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-04a
COMPUTER REF.	
GBP-06-18	

Plan Approved  
Adela YUNG  
SA/ICU4  
Independent Checking Unit  
21 MAR 2022

PAUL P. T. IP  
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Authorized Person (List of Architects)

RECORD DRAWING





■ EVA  
 - - - MAJOR FACADE OF THE BUILDING SERVED BY EVA  
 - - - MAJOR FACADE OF THE BUILDING NOT SERVED BY EVA

**EVA DIAGRAM**

TOTAL PERIMETER OF BUILDING:  
 = 161.810 m

MINIMUM REQUIRED LENGTH OF FACADE:  
 =  $161.810 / 4$   
 = 40.453 m

TOTAL PROVIDED LENGTH OF FACADE THAT EVA SERVES:  
 = 60.716 m > 40.453 m

VALID FORM ICU16		PERMIT NO.	DATE OF MODIFICATIONS APPLIED	MONTH	YEAR	REV
DESCRIPTION	CONDITIONS	LOCATION WITH MODIFICATION/ EXEMPTION GRANTED	DATE OF SUBMISSION	07	21	1
(1) BUILDING (PLANNING) REGULATION 36 TO PERMIT THE OMISSION IN STANDARD OF NATURAL LIGHTING AND VENTILATION IN BATHROOMS IN DOMESTIC BUILDING	* (ITEM a - d) SUBJECT TO THE COMPLIANCE WITH THE REQUIREMENTS AND CONDITIONS AS LAID DOWN IN PNAP APP-98	(1) UNIT G01-G14, UNIT 101-114, 118, 120-122, UNIT 201-216, 219-222, UNIT 301-316, 319-322, UNIT 401-416, 419-422, UNIT 501-516, 519-522, UNIT 601-616, 619-622 TOILET IN GROUND FLOOR NEW ACTIVITY ROOM	10 AUGUST 2021	#	✓	
(2) BUILDING (PLANNING) REGULATION 20 AND 21 TO PERMIT THE DOMESTIC PORTION OF TRANSITIONAL HOUSING IN WHOLESALE-CONVERTED SCHOOL TO BE TREATED AS NON-DOMESTIC FOR THE PURPOSE OF SITE COVERAGE AND PLOT RATIO CALCULATION	* (ITEM a - i)	(1) ALL UNITS		#	✓	
(3) BUILDING (PLANNING) REGULATION 25(1)(a) TO EXEMPT THE DOMESTIC PORTION OF TRANSITIONAL HOUSING IN WHOLESALE-CONVERTED SCHOOL FROM THE PROVISION OF OPEN SPACE	* (ITEM a - i)	(1) DOMESTIC UNITS		#	✓	
(4) BUILDING (PLANNING) REGULATION 28A TO PERMIT THE REDUCTION IN SIZE OF THE TELECOMMUNICATIONS AND BROADCASTING ROOM	* (ITEM a - i)	(1) GROUND FLOOR		#	✓	
(5) BUILDING (PLANNING) REGULATION 45 TO PERMIT THE NON-PROVISION OF KITCHEN	* (ITEM a - i) 1) NO COOKING WITH NAKED FLAME INSIDE THE PREMISES. 2) PROVISION OF COMMUNAL PANTRY OR A PANTRY IN EACH FLAT WITH AN OPENABLE WINDOW. 3) ISO APPROVED STANDALONE SMOKE OR HEAT DETECTOR SHALL BE PROVIDED AT A STRATEGIC LOCATION NEAR THE COUNTER TOP TO THE SATISFACTION OF THE INDEPENDENT CHECKING UNIT.	(1) ALL DOMESTIC UNITS		#	✓	
(6) BUILDING (PLANNING) REGULATION 35A TO PERMIT THE NON-PROVISION OF GAS APERTURE IN BATHROOM	* (ITEM a - i) 1) SUPPLY OF GAS AS DEFINED UNDER GAS SAFETY ORDINANCE (GASO) WILL NOT BE PROVIDED TO THE DOMESTIC PORTION OF BUILDING. 2) A RESTRICTION ON THE INSTALLATION OF GAS SUPPLY TO DOMESTIC PART OF BUILDING AND DELIVERY OF LPG CYLINDERS TO DOMESTIC UNITS OF THE BUILDINGS WILL BE IMPOSED IN THE TENANCY AGREEMENT. 3) A CONDITION WILL BE IMPOSED IN THE TENANCY AGREEMENT THAT TENANTS SHALL PROVIDE THEIR OWN ELECTRIC WATER HEATER AND INDUCTION COOKER IF AN ELECTRIC WATER HEATER AND AN INDUCTION COOKER ARE NOT PROVIDED BY THE NGO BEFORE RENTING OUT THE UNIT.	(1) ALL BATHROOMS IN DOMESTIC UNIT		#	✓	
(7) BUILDING (PLANNING) REGULATION 30 TO PERMIT THE OMISSION IN STANDARD OF NATURAL LIGHTING AND VENTILATION IN NEW MANAGEMENT OFFICE ON G/F	* (ITEM a - e) (1) ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT A RATE OF NOT LESS THAN 5 ACH TO BE PROVIDED TO THE SATISFACTION OF ICU. (2) FRESH AIR INTAKE COMPLYING THE REQUIREMENTS SET OUT IN ANNEX 2 OF PNAP-ADM-2 TO BE PROVIDED.	(1) GROUND FLOOR		#	✓	

LEGEND: ✓ VALID X NOT APPLICABLE # FIRST GRANTED △ AMENDMENT TO THE LOCATION OF EXEMPTION/ MODIFICATION PREVIOUSLY GRANTED.

REMARK FOR CONDITIONS:  
 a) THE SAID WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE PLANS APPROVED ON 10 AUGUST 2021 UNDER OUR REF. NO.: HD(CU)3/06(N)A(10)TH-1  
 b) THE CONDITIONS IMPOSED IN THIS PARAGRAPH ARE TO BE INCORPORATED IN THE SUBSEQUENT AMENDMENT PLANS FOR APPROVAL BEFORE THE FROM ICU14 IS SUBMITTED.  
 c) A CHECKLIST OF VALID FORM ICU16 IS TO BE SUBMITTED AT THE TIME OF THE SUBMISSION OF FORM ICU14.  
 d) THIS PERMIT WILL EXPIRE ON 9 AUGUST 2023 IF THE CONSENT TO COMMENCE THE ABOVE WORKS IS NOT OBTAINED ON OR BEFORE THE SPECIFIED DATE OR WHERE SUCH CONSENT HAS BEEN OBTAINED BUT IS DEEMED TO BE REVOKED WITH REFERENCE TO SECTION 20(1) OF THE BUILDING ORDINANCE (BO) AND THE PRELIMINARY DATE.  
 e) THE TRANSITIONAL HOUSING SHALL BE PROPERLY USED AND MANAGED ACCORDING TO THE MANAGEMENT PLAN SUBMITTED ON 28 JULY 2021 AND AGREED BY THE INDEPENDENT CHECKING UNIT.  
 f) AN ANNUAL INSPECTION REPORT TO CERTIFY THAT THE TRANSITIONAL HOUSING COMPLIES WITH THE MANAGEMENT PLAN, THE CONDITIONS IMPOSED IN THIS PERMIT AND NO ALTERATION AND ADDITIONS HAVE BEEN MADE TO THE TRANSITIONAL HOUSING AS SHOWN ON THE APPROVED PLANS DATED 10 AUGUST 2021 SHALL BE SUBMITTED BY AN AUTHORIZED PERSON.  
 g) THIS PERMIT IS GIVEN IN RECOGNITION OF THE LETTER SUBMITTED BY THE NON-PROFIT MAKING ORGANIZATION OR SOCIAL ENTERPRISE (NGO) DATED 28 JULY 2021, THE UNDERTAKING LETTER AND THIS PERMIT SHALL BE INCORPORATED INTO EVERY TENANCY AGREEMENT BETWEEN THE NGO AND THE OCCUPANTS OF TRANSITIONAL HOUSING.  
 h) THERE SHALL NOT BE ALTERATION OR ADDITION TO THE TRANSITIONAL HOUSING AS SHOWN ON THE APPROVED PLANS UNLESS A NEW PERMIT FOR THE REVISED LAYOUT IS OBTAINED.  
 i) THE PERMIT WILL BECOME INVALID UPON EXPIRY OR TERMINATION OF TENANCY BETWEEN NGO AND THE OWNER OF THE PREMISES, NGO SHOULD INFORM THE INDEPENDENT CHECKING UNIT IMMEDIATELY UPON THE END OF THE TENANCY AND REINSTATE THE PREMISES IN ACCORDANCE WITH THE AS-BUILT DRAWING(S) PRIOR TO THE PROPOSED ALTERATION AND ADDITION WORKS OR IN A STATE TO BE AGREED WITH HOUSING DEPARTMENT.

ICU REF.  
 FSD REF.

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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 Spence Robinson LT Ltd  
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PAUL P. T. IP  
 HKIA  
 Registered Architect  
 Authorized Person (List of Architects)

PROJECT  
 TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

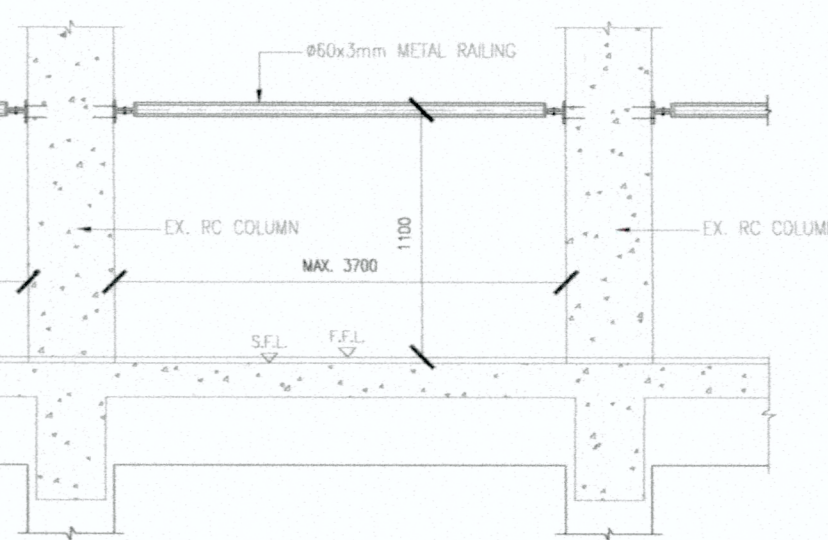
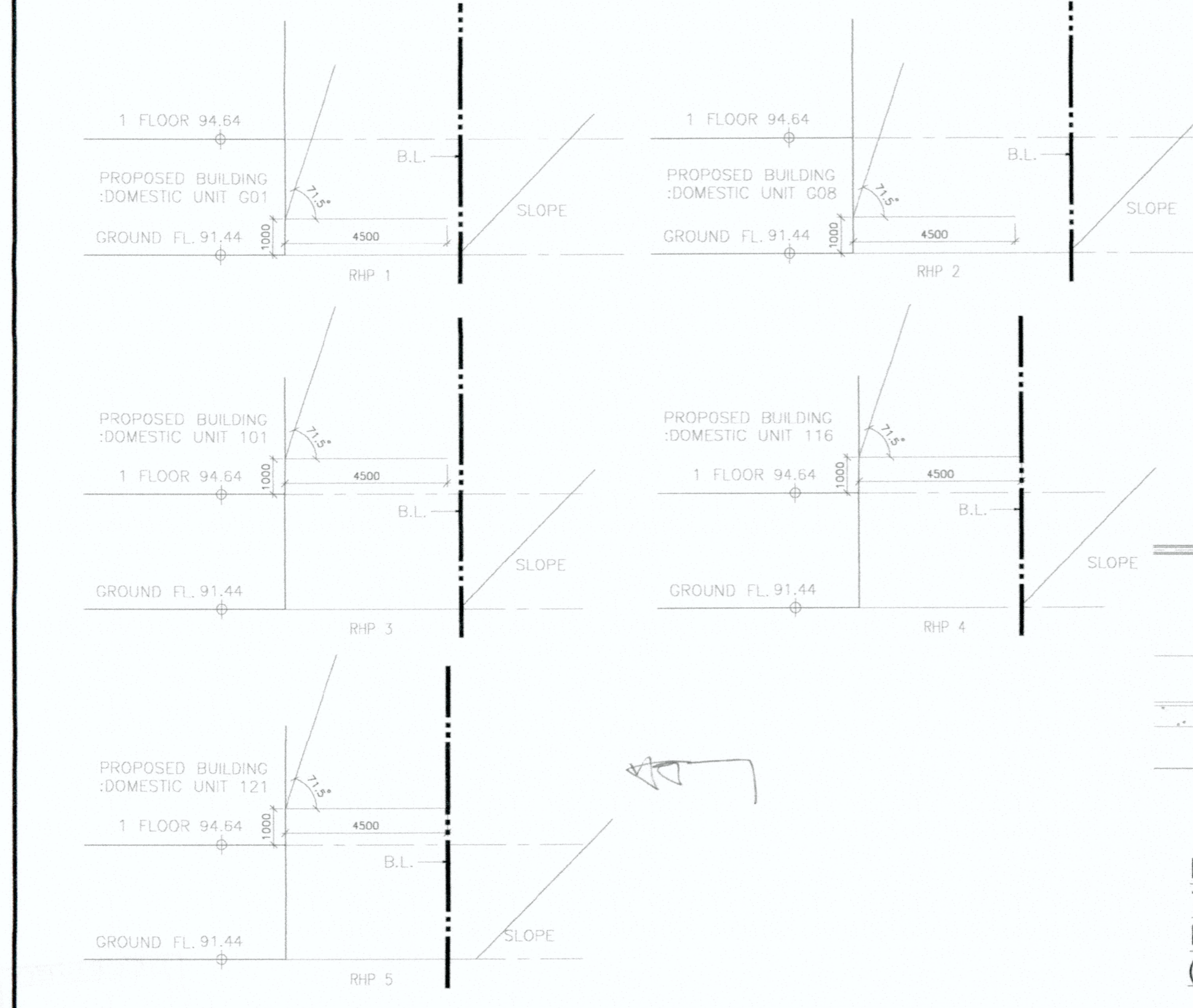
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 EVA DIAGRAM AND RHP DIAGRAM

SCALE	DRAWN
N.T.S.	KA
DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-05
COMPUTER REF.	
GBP-06-18	

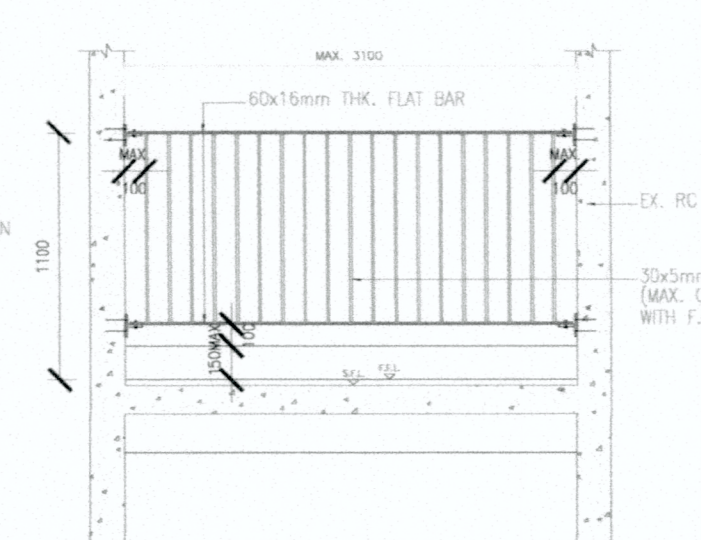
Plan Approved

Adela YUNG  
 SA/ICU4  
 Independent Checking Unit  
 21 MAR 2022

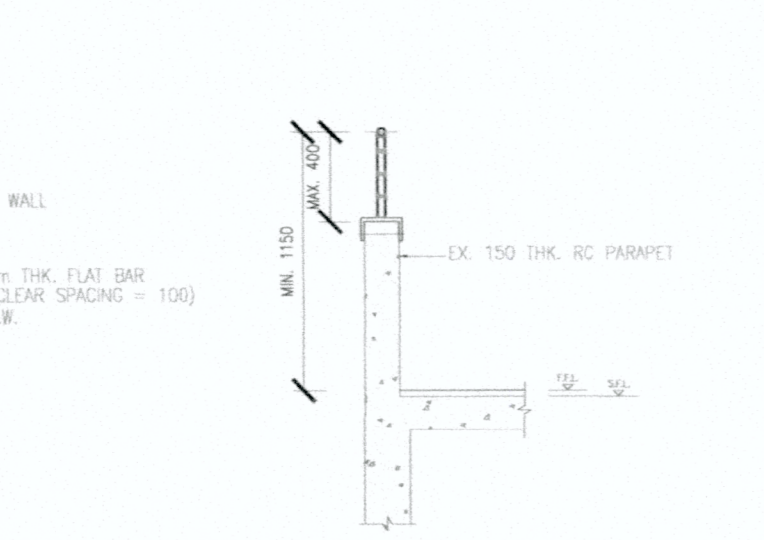
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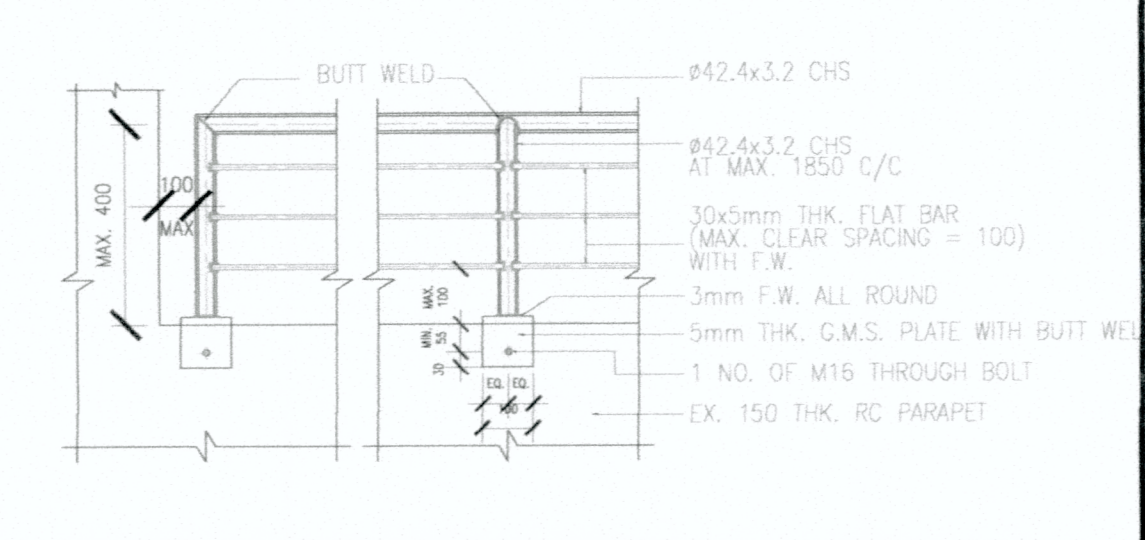
ELEVATION OF TYPICAL WINDOW WITH CILL LOWER THAN 1000MM FROM F.F.L. (N.T.S.)



ELEVATION OF NEW METAL BALUSTRADE IN ST-1 AND ST-2 (N.T.S.)



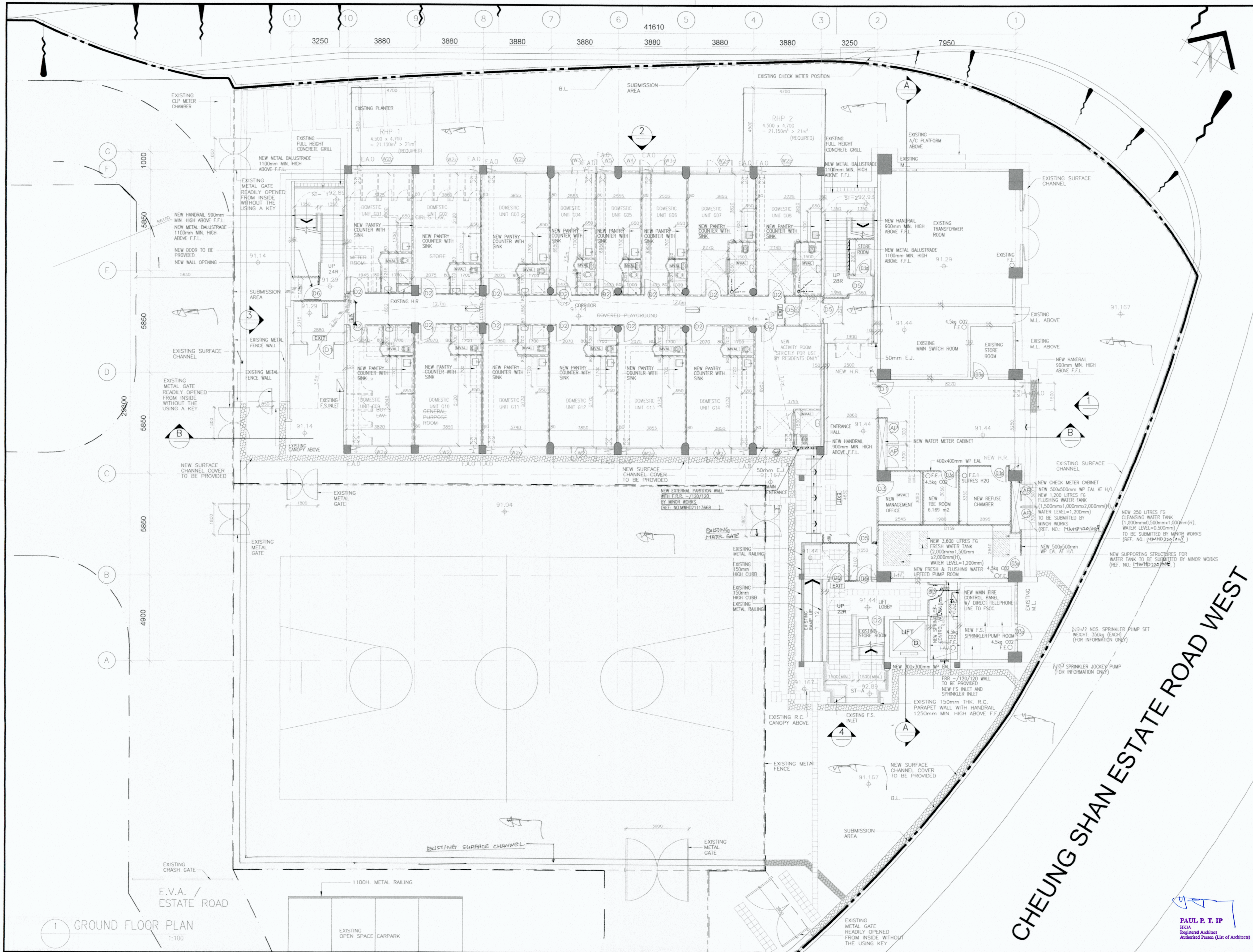
SECTION OF NEW METAL BALUSTRADE IN CORRIDOR (NEW BLOCK) (N.T.S.)



DETAILS OF NEW METAL BALUSTRADE IN CORRIDOR (NEW BLOCK) (N.T.S.)

PAUL P. T. IP  
 HKIA  
 Registered Architect  
 Authorized Person (List of Architects)





ICU REF.  
FSD REF.

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ALTERATION & ADDITION WORKS  
IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS

02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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Spence Robinson LT Ltd  
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**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE  
GROUND FLOOR PLAN

SCALE	DRAWN
1:100	KA
DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-06
COMPUTER REF.	
GBP-06-18	

Plan Approved  
*(Signature)*  
Adela YUNG  
SA/ICU  
Independent Checking Unit  
21 MAR 2022

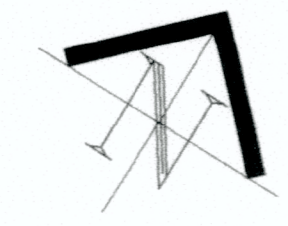
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CHEUNG SHAN ESTATE ROAD WEST

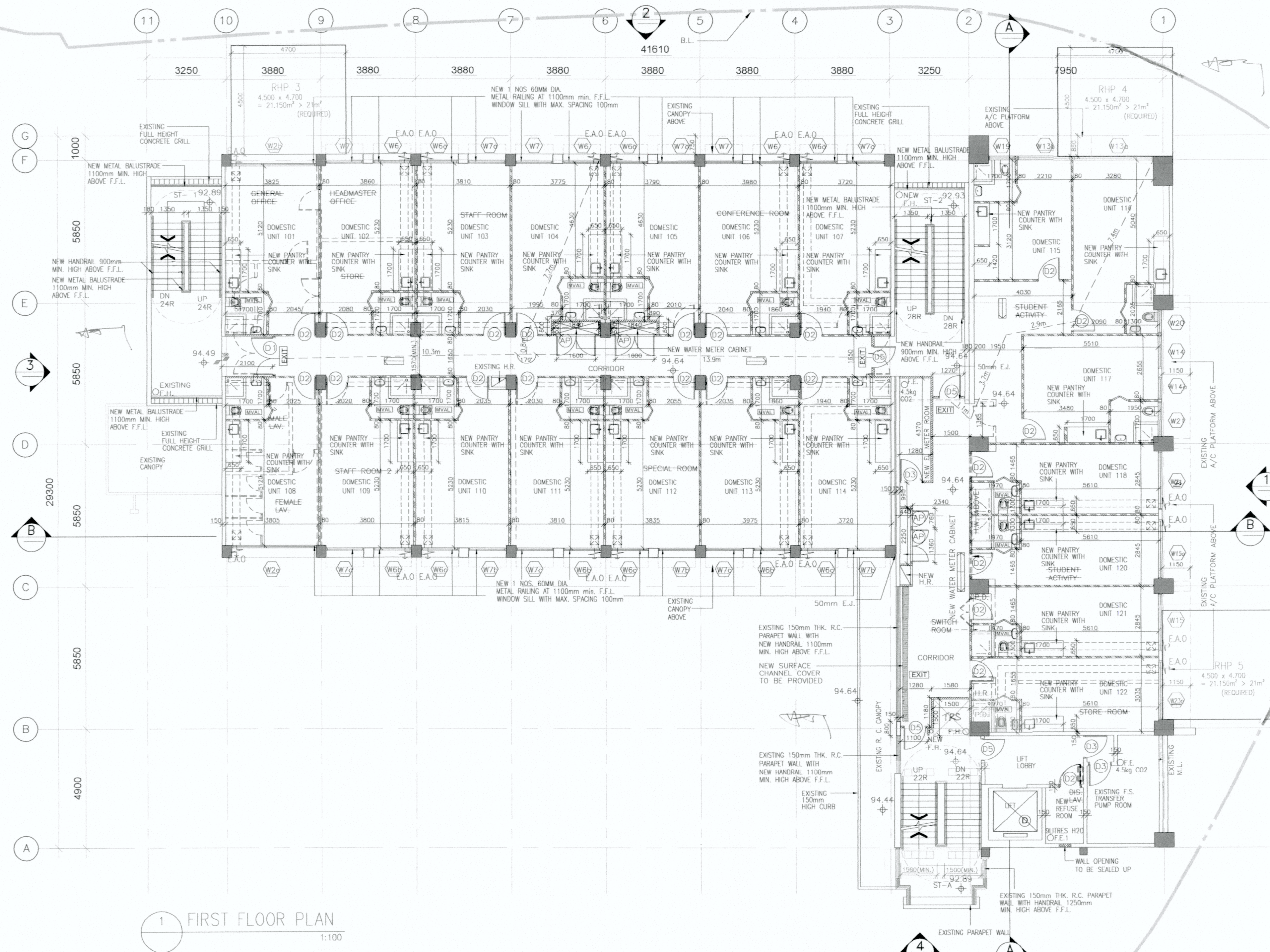
**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)

1 GROUND FLOOR PLAN  
1:100





ICU REF.  
FSD REF.



1 FIRST FLOOR PLAN  
1:100

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
FIRST FLOOR PLAN

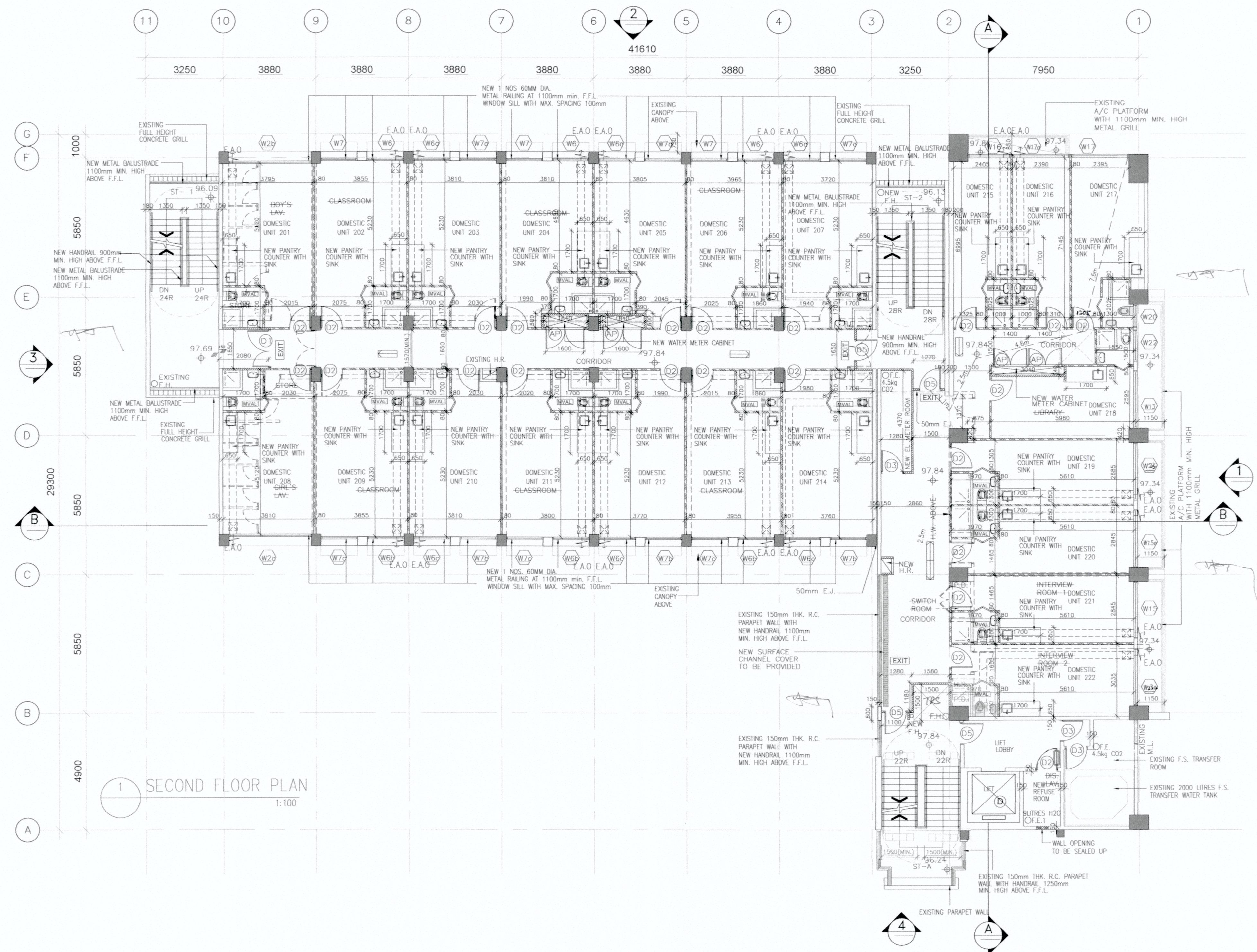
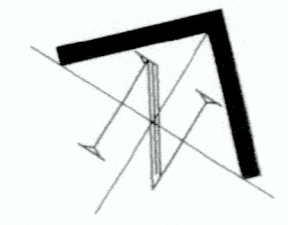
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JOB NO.	DRAWING NO.
6424	GBP-07
COMPUTER REF.	
GBP-06-18	

Plan Approved  
Adele YUNG  
SA/ICU4  
Independent Checking Unit  
21 MAR 2022

PAUL P. T. IP  
HKIA  
Registered Architect  
Authorized Person (List of Architects)

RECORD DRAWING





1 SECOND FLOOR PLAN  
1:100

ICU REF.  
FSD REF.

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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Authorized Person (List of Architects)

PROJECT

TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE

SECOND FLOOR PLAN

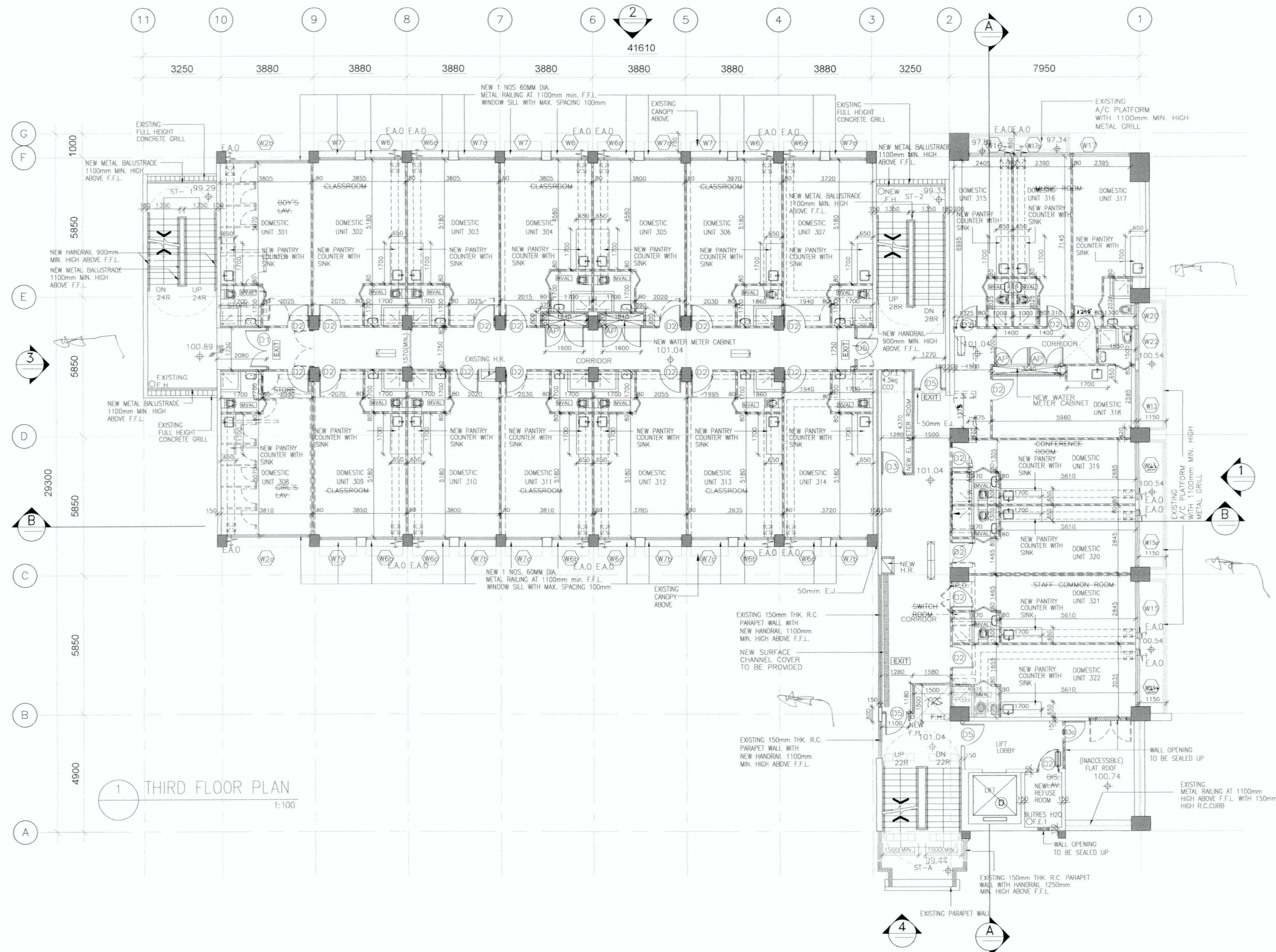
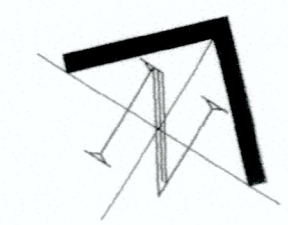
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DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-08
COMPUTER REF.	
GBP-06-18	

Plan Approved  
*Anna YUNG*  
SA/ICU4  
Independent Checking Unit  
21 MAR 2022

RECORD DRAWING

**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)





1 THIRD FLOOR PLAN  
1:100

ICU REF.  
FSD REF.

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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Authorized Person (List of Architects)

PROJECT

TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE  
THIRD FLOOR PLAN

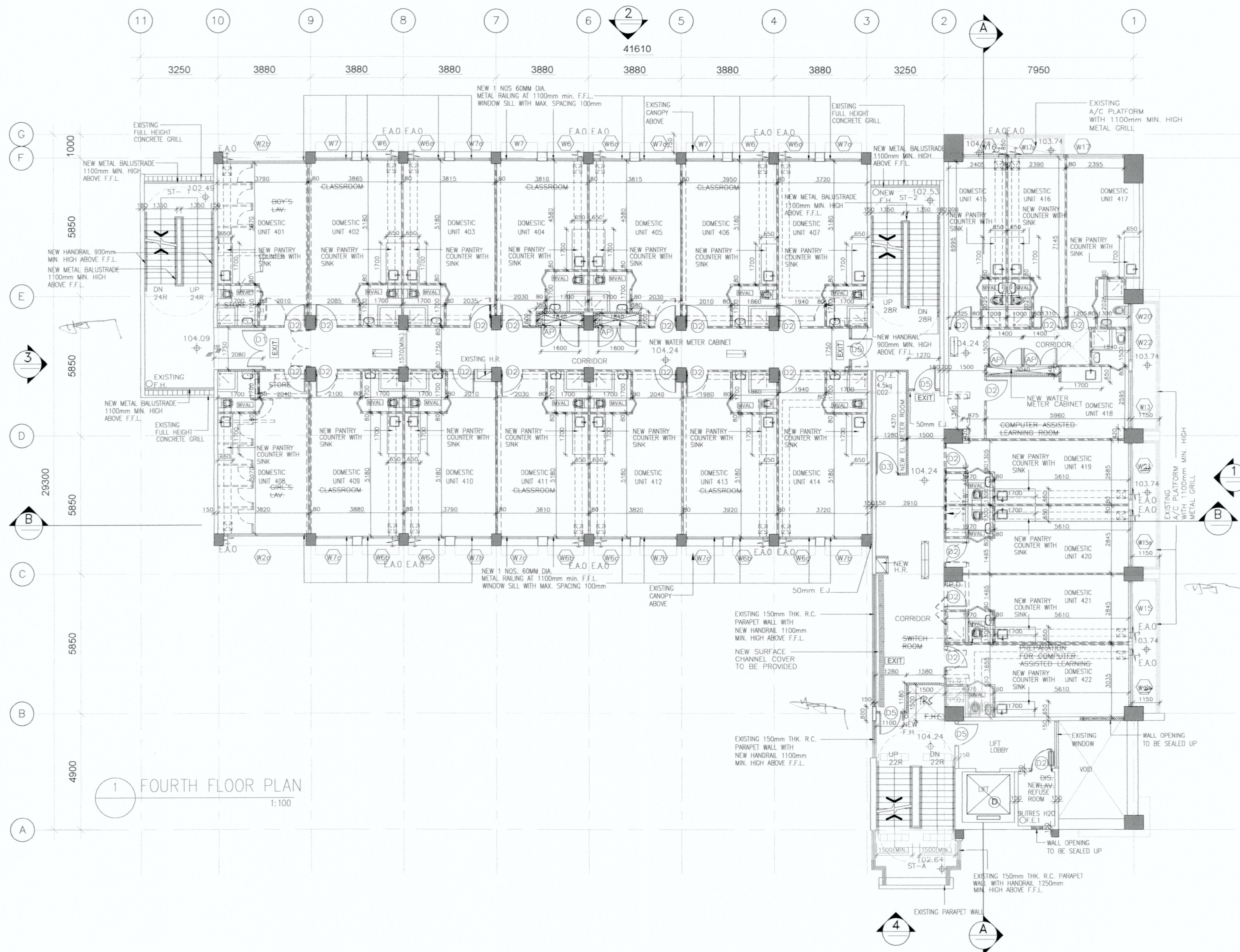
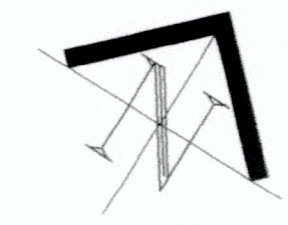
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21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-09
COMPUTER REF.	
GBP-06-18	

Plan Approved  
Adela YUNG  
Independent Practising Unit  
21 MAR 2022

RECORD DRAWING

**PAUL P. T. IP**  
RIBA  
Registered Architect  
Authorized Person (List of Architects)





1 FOURTH FLOOR PLAN  
1:100

ICU REF.  
FSD REF.

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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HKIA  
Registered Architect  
Authorized Person (List of Architects)

PROJECT

TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
FOURTH FLOOR PLAN

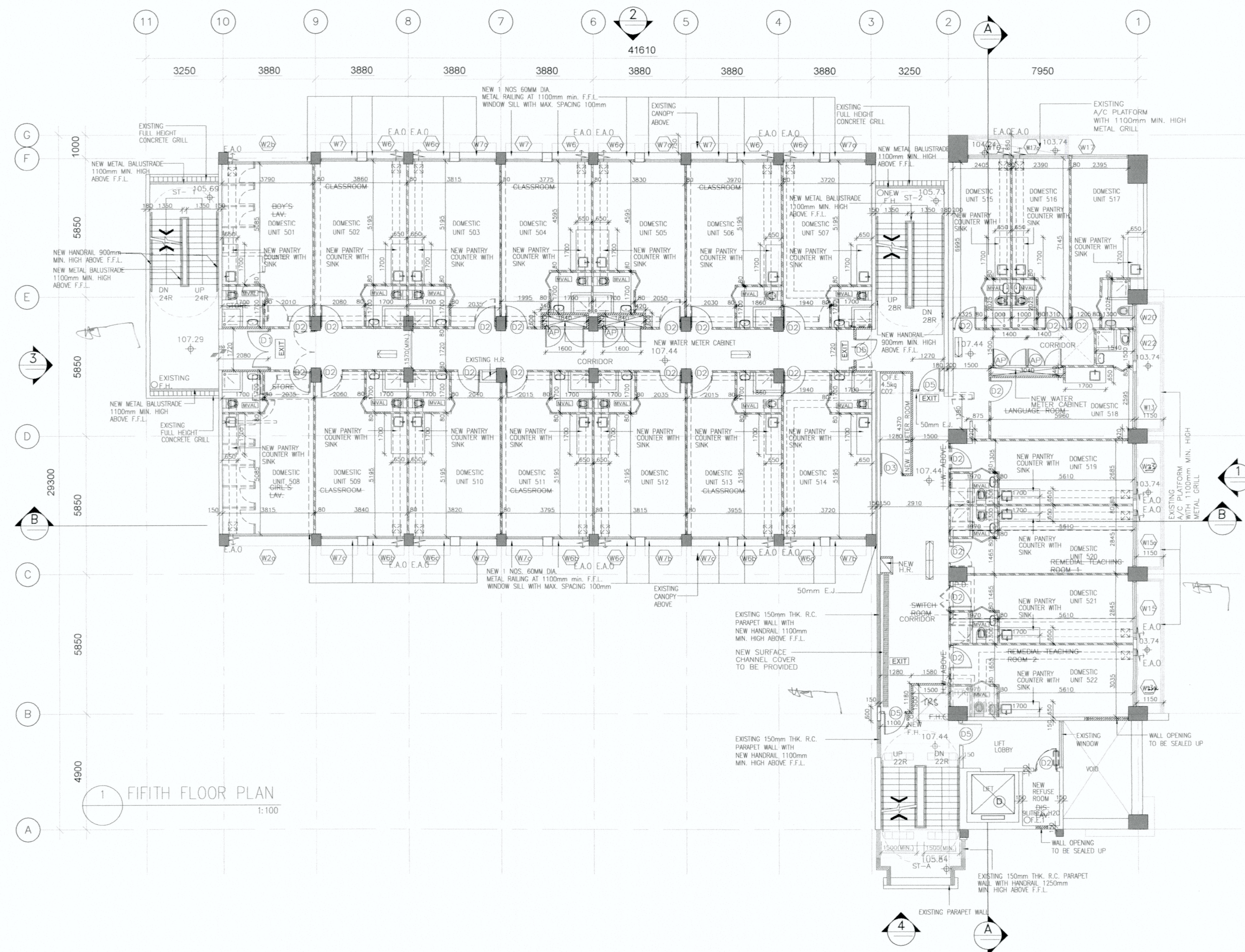
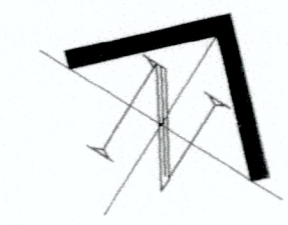
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21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-10
COMPUTER REF.	
GBP-06-18	

Plan Approved  
**Adela YUNG**  
SA/ICU4  
Independent Checking Unit  
21 MAR 2022

RECORD DRAWING

**PAUL P. T. IP**  
HKIA  
Registered Architect  
Authorized Person (List of Architects)





1 FIFTH FLOOR PLAN  
1:100

ICU REF.  
FSD REF.

THE WORKS SHOWN ON THESE PLANS ARE TYPE II WORKS ALTERATION & ADDITION WORKS IN RESPECT OF WHICH CONSENT IS APPLIED FOR THE PURPOSE OF FAST TRACK CONSENT APPLICATION UNDER REGULATION 33 OF THE BUILDING (ADMINISTRATION) REGULATIONS.

02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

# SRLT

Spence Robinson LT Ltd  
Architects - Project Managers - Interior Designers  
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RICA  
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Authorized Person (List of Architects)

PROJECT

TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
FIFTH FLOOR PLAN

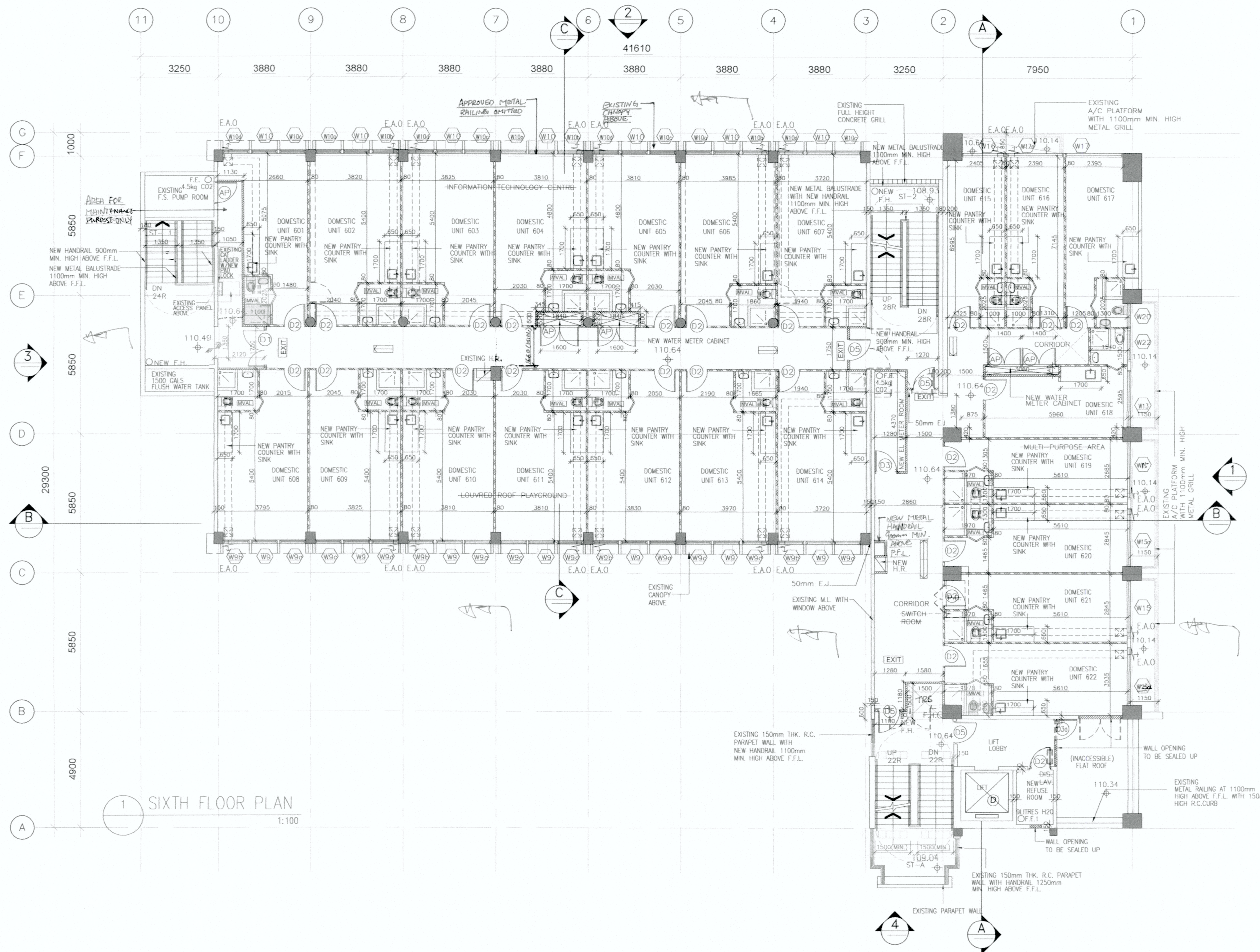
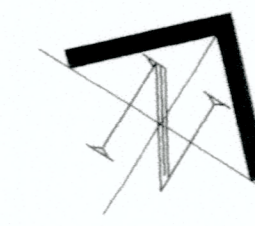
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DATE	CHECKED
21 FEB 2022	PI/LL
JOB NO.	DRAWING NO.
6424	GBP-10a
COMPUTER REF.	
GBP-06-18	

Plan Approved  
**Adely LUNG**  
S/ICU4  
Independent Checking Unit  
21 MAR 2022

RECORD DRAWING

**PAUL P. T. IP**  
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Registered Architect  
Authorized Person (List of Architects)





1 SIXTH FLOOR PLAN  
1:100

ICU. REF.  
FSD. REF.

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02-2022	1	GBP REVISION	-
07-2021	0	GBP SUBMISSION	-

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PROJECT

TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE  
SIXTH FLOOR PLAN

SCALE 1:100	DRAWN KA
DATE 21 FEB 2022	CHECKED PI/LL
JOB NO. 6424	DRAWING NO. GBP-11
COMPUTER REF. GBP-06-18	

Plan Approved  
  
Adela YUNG  
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Independent Working Unit  
11 MAR 2022

**RECORD DRAWING**

**PAUL P. T. IP**  
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Authorized Person (List of Architects)









1 ELEVATION 1  
1:100

ICU. REF.  
FSD. REF.

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02-2022	1	GBP REVISION	-
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PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
ELEVATION 1

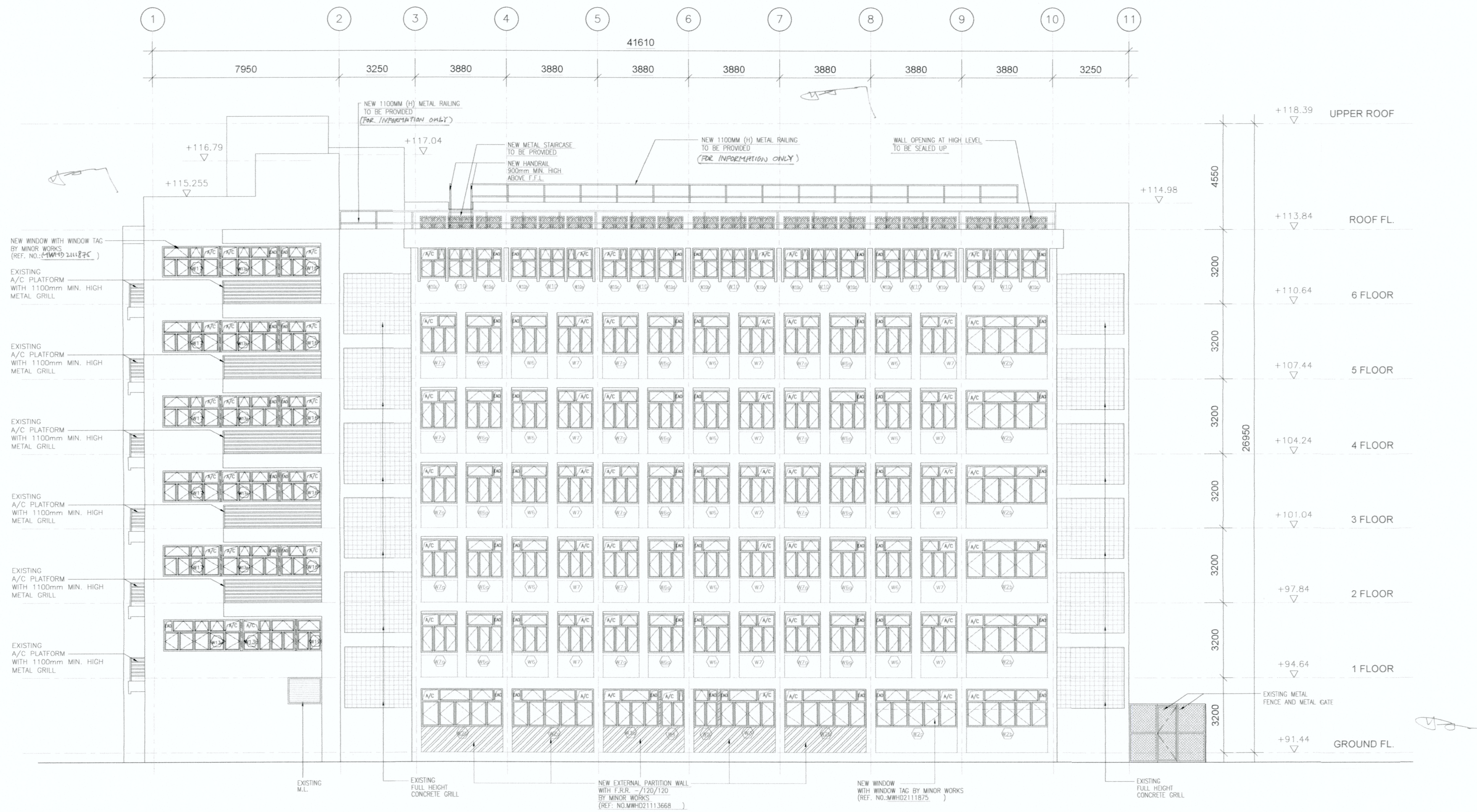
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COMPUTER REF. GBP-06-18	

Plan Approved  
Adela YUNG  
SARQA  
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21 MAR 2022

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Authorized Person (List of Architects)





1 ELEVATION 2  
1:100

ICU. REF.  
FSD. REF.

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02-2022	1	GBP REVISION	-
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Authorized Person (List of Architects)

PROJECT  
TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE  
ELEVATION 2

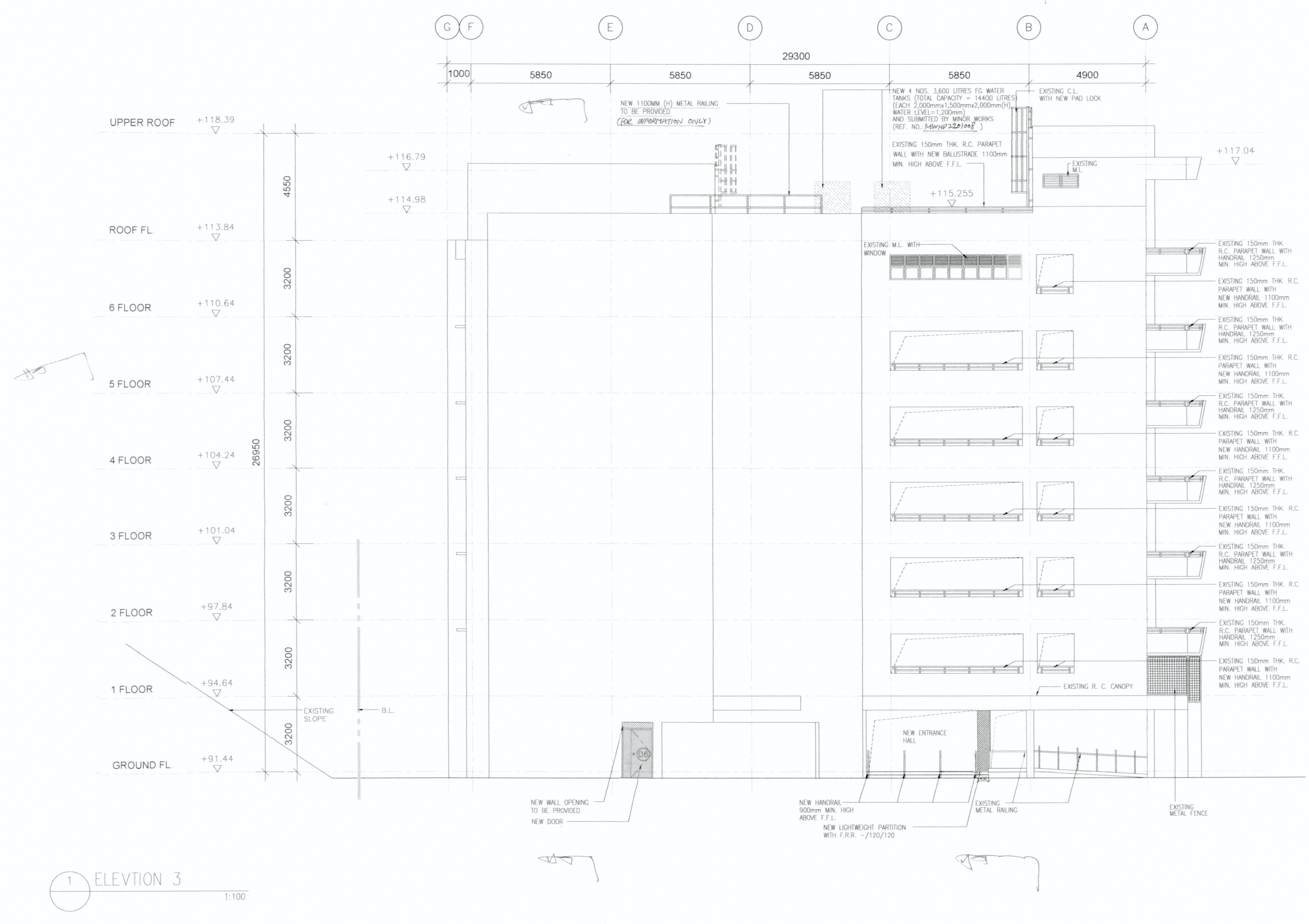
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JOB NO.	6424	DRAWING NO.	GBP-14
COMPUTER REF.	GBP-06-18		

Plan Approved  
Adela YUNG  
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Independent Checking Unit  
11 MAR 2022

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1 ELEVATION 3  
1:100

ICU REF.  
FSD REF.

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02-2022	1	GBP REVISION	-
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PROJECT  
TRANSITIONAL HOUSING AT CHEUNG SHAN ESTATE, TSUEN WAN

DRAWING TITLE  
ELEVATION 3

SCALE	1:100	DRAWN	KA
DATE	21 FEB 2022	CHECKED	PI/LL
JOB NO.	6424	DRAWING NO.	GBP-15
COMPUTER REF.	GBP-06-18		

Plan Approved  
*Adela YUNG*  
Adela YUNG  
SA/ICU4  
Independent Checking Unit  
21 MAR 2022

RECORD DRAWING

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1 ELEVATION 4  
1:100

ICU REF.  
FSD REF.

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02-2022	1	GBP REVISION	-
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PROJECT  
TRANSITIONAL HOUSING AT  
CHEUNG SHAN ESTATE,  
TSUEN WAN

DRAWING TITLE  
ELEVATION 4

SCALE 1:100	DRAWN KA
DATE 21 FEB 2022	CHECKED PI/LL
JOB NO. 6424	DRAWING NO. GBP-16
COMPUTER REF. GBP-06-18	

Plan Approved  
Adela YUNG  
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21 MAR 2022

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